



PLANNING COMMISSION STAFF REPORT

DATE: December 13, 2023
TO: Members of the Planning Commission
FROM: Greg Stones, Principal Planner
RE: Architectural Design/Site Development Review
for the Taco Bell Remodel Project (DR 23-02)

AGENDA ITEM NO 2.

Planning Commission consideration of Architectural Design and Site Development Review for a proposed interior and exterior remodel of an existing Taco Bell fast food (with drive-thru) restaurant and landscape rehabilitation on approximately 0.57 acres of developed land within the Mission Plaza shopping center located at 1548 North H Street (APN: 093-490-007) in the Planned Commercial Development (PCD) and H Street Overlay (HSO) zones. This action is categorically exempt from environmental review pursuant to Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines.

Scope of Review

The Planning Commission is being asked to consider:

- If the project meets the property development standards in the Zoning Districts;
- If the proposal is consistent with the Architectural Review Guidelines;
- If the required Findings in the Resolution can be made; and
- If the Conditions of Approval are appropriate for the project.

Staff Recommendation

1. Adopt Resolution No. 995 (23) approving DR 23-02; or
2. Provide other direction.

Site Data

1. Property Owner: Wheeler Separate Share Trust
2. Location: 1548 North H Street
3. Assessor Parcel Number: 093-490-007
4. General Plan Designation: General Commercial
5. Zoning District: Planned Commercial Development and H Street Overlay
6. Current Use: Developed, existing fast food restaurant
7. Surrounding Uses/Zoning:
North - Retail/PCD
South - Retail/PCD
East - Retail/PCD
West - Hotel/PCD
8. Property Size: 0.57 acres

Background

The project site is located within the existing Mission Plaza shopping center which was originally approved in 1991. The Taco Bell restaurant is located on a separate lot within the shopping center that can be accessed from multiple entry driveways from North H Street and from an existing driveway on East Central Avenue. An application for Architectural Design & Site Development Review was received by the Planning Division on August 28, 2023 and deemed complete for processing on September 29, 2023.

Proposal & Staff Analysis

The project site is currently developed with an existing Taco Bell restaurant that is approximately 2,800 square feet in size. The proposal includes a remodel (exterior elevations and interior floor plan remodel) to the existing restaurant (with drive-thru) building. As part of the remodel, an approximately 30 square foot addition to the existing building footprint, an increase in the existing building height to modify towers (from 16 feet, 11 inches to 20 feet, 6 inches), a pedestrian path from the building entrance to the on-site shopping center sidewalk, a widening of the drive through lane at the curves, and rehabilitated landscaping. The exterior remodel is primarily for the entrances and tower elements (more discussed below in the Architectural Review section). A detailed project description from the applicant is shown as Attachment 3.

Parking

The project requires 14 parking spaces based on code requirements and the shopping center provides for a surplus of parking spaces to accommodate the various uses in the center. Although a small increase (30 square feet) in the building footprint is proposed, no increase in parking is required and the existing parking within the center would comply with the development standards contained in LMC Chapter 17.308 (Parking Standards).

Building Height Change

As part of the proposed remodel, the building height would increase from 16 feet, 11 inches to 20 feet, 6 inches. The increase in height was needed to accommodate the new tower features on the building and extra height to needed to screen roof mounted equipment. The proposed increase would still meet the height requirement of the zone which currently allows a maximum building height of 50 feet (or 4 stories, whichever is less) in the PCD zone.

Landscaping

The subject site contains existing landscaping but much of the landscaping has either been removed or decayed over time. Therefore, a variety of new drought tolerant landscaping is proposed to fill in missing landscaping and rehabilitate the existing landscaping coverage on the site as shown on attached planset (Sheet L2). Due to the project location near large existing eucalyptus trees (west side of restaurant), the type of landscaping to be re-planted in this area may change to ensure that the vegetation will survive in this planter area. Three (3) new trees along the shopping center driveway planter will be required to enhance one of the primary entrances to the center. The required landscaping for the property is 15% (LMC Chapter 17.312.030.C) and the project is proposing 17%, therefore meeting the required landscaping lot coverage. The final landscaping plans would be submitted under a separate landscape submittal to be reviewed at the staff level and conditioned accordingly.

Signage

New signage is proposed and shown on the plan set but will be reviewed under a separate sign permit. An exterior mural is shown in the plan set which contains signage (Taco Bell logo "bell") and will be reviewed in part or whole as signage (not art).

Conformance with 2030 General Plan

The existing and proposed use is permitted in the General Commercial land use category and is consistent with the stated purpose of the General Plan Land Use designation. Staff has reviewed the proposed remodel and has determined that the project supports various General Plan Element goals and policies including but not limited to: Land Use Policies 1.7, 3.3, 3.5, 8.2, 8.4, and Economic Development Policies 1.4, 2.1, and 3.2.

Conformance with Zoning Code

The proposed use is permitted within the Zoning Districts, and the project, as proposed and conditioned, would meet the zoning development standards. The Planned Commercial Development (PCD) Zone is intended to provide for the orderly development of commercial centers in conformance with the General Plan. This Zone is intended to provide flexibility in the site planning and design of various types of commercial developments along major highway corridors (LMC Chapter 17.212.020.D). The H Street Overlay (HSO) zone applies to lots along the H Street corridor that are anticipated to be redeveloped or developed with commercial, residential, or a mix of uses in buildings and with associated improvements that result in a more attractive built environment that accommodates pedestrians, bicycles, transit, and private vehicles. The proposed exterior remodel is consistent with the this Overlay as it will provide a more attractive built environment for the existing shopping center.

Conformance with Architectural Review Guidelines

The City of Lompoc Architectural Review Guidelines provide standards for architectural character/building design, site design, and additional guidelines for specific zones to ensure architectural compatibility for new and infill developments. The architectural features for the existing and proposed remodel include: building depth, articulation, wall off-sets to break up bulk/massing, and combinations of vertical and horizontal elements. The building remodel includes new entrances and tower features, trim bands, entrance canopy, roof equipment screen with parapet and caps, replacement of drive through windows, wall lighting, terra cotta tile roof, and mural as depicted in the attached plan set (Attachment 4). The colors of the building include a “classic white” (light tan) color for the primary building stucco, a dark brown for the tower wainscot / trim / roof equipment screen and parapet and cap, and purple trim facia accents for all building elevation walls. The existing terra cotta roof tile would remain, and the building would include light tan and dark brown elements currently used in the existing building while a new purple accent color. The proposal would meet the overall objectives of the City’s guidelines based on the proposed elevation plan drawings reviewed by staff.

Departmental Review

A Development Review Board (DRB) meeting was not held because this is a remodel to an existing building. The application was circulated, and Conditions of Approval were drafted by each of the departments, providing both standard and project specific requirements as necessary. As conditioned, the project satisfies the development standards of the zoning code, and therefore, staff recommends that the Planning Commission adopt Resolution No. 995 (23) subject to the attached draft Conditions of Approval.

Environmental Determination

This action is categorically exempt from environmental review pursuant to Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines.

Noticing

On November 29, 2023, a notice of the public hearing was published in the Lompoc Record newspaper. In addition, on December 1, 2023, notices were mailed to property owners within 300 feet and posted to the project site.

Appeal Rights

Any person has the right to appeal the Planning Commission action to the City Council within ten days of the action. Contact a Planning Division staff member for the required appeal form and the required fee is \$257.80.

Attachments

1. Resolution No. 995 (23)
2. Vicinity Map
3. Project Description
4. Plan Set

Respectfully submitted,



Brian Halvorson
Planning Manager

APPROVED FOR SUBMITTAL TO THE PLANNING COMMISSION:



Christie Alarcon
Community Development Director

RESOLUTION NO. 995 (23)

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMPOC APPROVING ARCHITECTURAL DESIGN/SITE DEVELOPMENT REVIEW (DR 23-02) FOR THE TACO BELL REMODEL LOCATED AT 1548 NORTH H STREET (APN: 093-490-007)

WHEREAS, the City received a request for Planning Commission consideration of Architectural Design and Site Development Review for a proposed interior and exterior remodel of an existing Taco Bell fast food (with drive-thru) restaurant and landscape rehabilitation on approximately 0.57 acres of developed land within the Mission Plaza shopping center located at 1548 North H Street (APN: 093-490-007) in the Planned Commercial Development (PCD) and H Street Overlay (HSO) zones; and

WHEREAS, the matter was considered by the Planning Commission at a duly-noticed public meeting on December 13, 2023; and

WHEREAS, at the meeting of December 13, 2023, staff was present and answered Planning Commissioner questions and addressed their concerns; and

WHEREAS, at the meeting of December 13, 2023, _____ spoke in favor of the project, and _____ expressed concerns regarding the project.

NOW, THEREFORE, THE LOMPOC PLANNING COMMISSION RESOLVES AS FOLLOWS:

SECTION 1: After hearing testimony, considering the evidence presented, and due deliberation of the matters presented, Planning Commission finds that:

- A. The proposed project is consistent with the 2030 General Plan.
- B. The proposed project, as conditioned, is consistent with all the applicable standards in the Zoning Code.
- C. The proposed project will not be detrimental to the public health, safety, or general welfare.
- D. The proposed project substantially complies with any applicable City design guidelines, including but not limited to the Architectural Review Guidelines.
- E. The proposed project has an appropriate relationship to land use and development of adjacent properties, including topographic and other physical characteristics of the land.

- F. The proposed project has a compatible architectural style with the character of the surrounding area, both to avoid repetition of identical design where not desired, and to ensure compatibility in design where desired.

SECTION 2: This project is exempt from the California Environmental Quality Act (“CEQA”) pursuant to Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. Furthermore, none of the exceptions to Categorical Exemptions set forth in the CEQA Guidelines, section 15300.2 apply to this project. Therefore, no environmental assessment is required or necessary.

SECTION 3: Based upon the foregoing, the proposal is approved on December 13, 2023, subject to the conditions attached as Exhibit A, which are incorporated by reference as if fully set forth herein.

The foregoing Resolution was adopted, on motion by Commissioner _____, seconded by Commissioner _____, at the Planning Commission meeting of December 13, 2023, by the following vote:

AYES:

NOES:

Brian Halvorson, Secretary

Federico Cioni, Chair

Attachment:

Exhibit A – Draft Conditions of Approval

**DRAFT CONDITIONS OF APPROVAL
TACO BELL REMODEL
ARCHITECTURAL DESIGN/SITE DEVELOPMENT REVIEW
(DR 23-02)
1548 NORTH H STREET
(APN: 093-490-007)**

The following Conditions of Approval were reviewed by the Planning Commission on December 13, 2023 and apply to Architectural Design and Site Development Review for a proposed interior and exterior remodel of an existing Taco Bell fast food (with drive-thru) restaurant and landscape rehabilitation on approximately 0.57 acres of developed land within the Mission Plaza shopping center located at 1548 North H Street (APN: 093-490-007) in the Planned Commercial Development (PCD) and H Street Overlay (HSO) zones. This action is categorically exempt from environmental review pursuant to Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines.

Expiration: Architectural Design/Site Development Review approval granted by the Planning Commission will expire on December 13, 2024 unless it is implemented before that date, as described in LMC Section 17.552.060. A time extension may be granted pursuant to Lompoc Municipal Code (LMC) Section 17.552.070 if the applicant files an application and written request for an extension prior to the expiration of the permit.

I. PLANNING

PLANNING – GENERAL CONDITIONS

- P1. All applicable provisions of the City of Lompoc Zoning Code are made a part of these conditions of approval in their entirety, as if fully contained herein.
- P2. In conformity with LMC Sections 1.24.060, 17.104.040, and 17.628.010, the violation of any condition listed herein shall constitute a nuisance and a violation of the Lompoc Municipal Code. In conformity with LMC Section 1.24.010, a violation of the Lompoc Municipal Code is punishable as an infraction, unless specifically declared to be a misdemeanor. In addition to criminal penalties, the City may seek injunctive relief. The applicant agrees to pay for all attorney's fees and costs, including, but not limited to, staff time incurred by the City in obtaining injunctive relief against the applicant as a result of a failure of the applicant to fully perform and adhere to all of the Conditions of Approval.
- P3. The applicant is advised that certain fees and charges will be collected by the City prior to issuance of building permits and/or prior to issuance of Certificates of Occupancy. Pursuant to Government Code Section 66020, the applicant is informed that the 90-day period in which the applicant may protest the fees, dedications, reservation or other exaction imposed on this project through the conditions of approval has begun.
- P4. These conditions of approval, including the letter approving the application and the applicant's and property owner's signed affidavit agreeing to comply with the

conditions of approval, shall be noted on the construction drawings filed for any building permits.

- P5. All revisions made by the Planning Commission and specified in the Planning Conditions of Approval shall be shown on a revised site plan, which shall be reviewed by the Planning Division prior to submittal of construction drawings.
- P6. In accordance with LMC Section 17.552.080 (Changes to an Approved Permit), minor changes to an approved permit shall be processed and may be approved by the Director. Major changes shall be reviewed and approved or denied by the review authority that approved the original permit or approval.
- P7. No signage is reviewed at this time. Prior to the installation of any signage or sign related construction, the applicant shall obtain the appropriate permit through the Planning and Building Divisions.
- P8. Owner and Applicant jointly and severally agree to and shall indemnify, defend, protect, and hold harmless City, its officers, employees, agents and representatives, from and against any and all claims, losses, proceedings, damages, causes of action, liabilities, costs and expenses, including reasonable attorney's fees, arising from or in connection with, or caused by (i) any act, omission or negligence of Owner, or their respective contractors, licensees, invitees, agents, sub-lessees, servants or employees, wherever on or adjacent to the Property the same may occur; (ii) any use of the Property, or any accident, injury, death or damage to any person or property occurring in, or on or about the Property, or any part thereof, or from the conduct of Owner's business or from any activity, work or thing done, permitted or suffered by Owner or its sub-lessees, contractors, employees, or invitees, in or about the Property, other than to the extent arising as a result of City's sole active negligence or to the extent of any willful misconduct of the City; and (iii) any default in the performance of any obligations of Owner's part to be performed under the terms of this Agreement, or arising from any negligence of Owner, or any such claim or any action or proceeding brought thereon; and in case any action or proceedings be brought against the City, its officers, employees, agents and representatives, by reason of any such claim, Owner, upon notice from City, shall defend the same at its expense by counsel reasonably satisfactory to City.

Owner and Applicant further jointly and severally agree to and shall indemnify, defend, protect, and hold harmless the City, its officers, employees, agents and representatives, from and against any and all actions brought by any third party to challenge the Project, Applicant's request to use alternative compliance methods to meet inclusionary housing requirements for this project, or the approval, denial, or processing of the same by the City, including environmental determinations and subsequent actions taken by City staff to bring such City approvals or actions into effect. Such indemnification shall include any costs and expenses incurred by City in such action(s), including reasonable attorney's fees and court costs.

- P9. Building permits shall be obtained from the City of Lompoc for any demolition work and proposed new construction.

- P10. The applicant shall notify the City of Lompoc Planning Division of a change of ownership for the property or a change of project representative within 30 days of such change at any time during the City process prior to Certificate of Occupancy.
- P11. The right to use an occupancy permit shall be contingent upon the fulfillment of any general and special conditions imposed by the Preliminary Development Plan procedure.
- P12. All of the conditions shall constitute restrictions running with the land and shall be binding upon the owner of the land, his successors or assigns and a covenant to the effect may be required.
- P13. All of the conditions shall be consented to in writing by the applicant and property owner.
- P14. LMC Section 17.612.030 allows any person to appeal a decision by filing a written notice of appeal with the City Clerk prior to the time the decision becomes final in compliance with LMC Section 17.552.020 or if the decision is not addressed in Section 17.552.020, or becomes effective immediately, then within ten days after the decision. No grading, building, demolition, or other ministerial permit, nor any other discretionary permit, shall be issued by the City for the Project until the later of (1) the expiration of the 10-day appeal period, or (2) the City Council's decision on the appeal, if a timely appeal is filed.
- P15. Pursuant to LMC Section 17.304.090.F, hours of construction shall be limited to:

Monday through Friday: 7:00 a.m. to 6:00 p.m.

Saturday: 8:00 a.m. to 5:00 p.m.

Sunday: No Construction Allowed

Minor modifications to the construction hours may be granted by the Planning Manager upon a request in writing.

PLANNING – ARCHITECTURAL CONDITIONS

- P16. The Architectural Design/Site Development Review approval granted by the Planning Commission will expire on December 13, 2024 unless it is implemented before that date, as described in LMC Section 17.552.060. A time extension may be granted pursuant to Lompoc Municipal Code (LMC) Section 17.552.070 if the applicant files an application and written request for an extension prior to the expiration of the permit.
- P17. All facades which extend above the roof line shall be finished on all elevations exposed to public view.
- P18. Pursuant to LMC Chapter 17.312 (Landscape and Screening Standards), all proposed mechanical, ventilation, and utility equipment shall be architecturally screened to prevent visibility from public view and shall be designed and placed to harmonize with the major structures on the site and with the neighborhood.

P19. Foam material shall not be used for architectural features from the ground level to six (6) feet above ground level. Foam material may be used on portions of the building which are a minimum of six feet above ground level.

PLANNING – SITE PLAN CONDITIONS

P20. No outside vending machines, except fully enclosed newspaper racks, shall be allowed on site. All newspaper racks shall be pedestal-mounted.

PLANNING – LANDSCAPING GENERAL CONDITIONS

P21. Six (6) sets (under separate cover) of landscape and irrigation plans shall be submitted to the Planning Division for distribution and review by various City departments/divisions. The landscape and irrigation plans shall be reviewed and approved prior to Planning Division sign-off of a Certificate of Occupancy.

The landscape and irrigation plans shall be prepared by a licensed landscape architect or other qualified professional project designer as designated by City staff; shall have overall dimensions of 24" x 36"; shall show all existing and proposed public utilities within the project limits; and shall have the following approval blocks:

- 1) Planning Manager – private property landscaping; and
- 2) Urban Forestry Supervisor – Right-of-Way landscaping
- 3) Public Works Director – Right-of-Way landscaping

P22. All landscaping shall comply with the Landscape Development Regulations contained within Lompoc Municipal Code chapter 17.312 (Landscape and Screening Standards).

P23. The landscaping plans to be submitted and reviewed by the Planning Division shall indicate the required landscaping coverage on the subject property in accordance with LMC Section 17.312.030.C (Minimum Landscape Coverage). The landscaping in the right of way is not included in this calculation.

P24. A Landscape Maintenance Agreement (LMA), in a form satisfactory to the City Attorney, shall be recorded prior to the Planning Division sign-off of a Certificate of Occupancy for the project.

P25. The project must conform to the Urban Forestry Administrative Guidelines.

P26. The final landscaping Conditions of Approval shall be printed on the landscape plans filed with the City.

PLANNING – LANDSCAPING IRRIGATION CONDITIONS

P27. The project must conform to Chapter 15.52 of the Lompoc City Code Water Efficient Landscape and Irrigation Standards and the State of California Model Water Efficiency Landscape Ordinance (MWELo).

- P28. All irrigation must be low-water use, per manufacturer's specifications. A copy of the specifications must be provided to the Planning Division before installation. Installation must include check valves as needed to prevent runoff.
- P29. All irrigation under paving must be Schedule 80 PVC or greater with tracer wires and sleeves.

PLANNING – LANDSCAPING TREE CONDITIONS

- P30. The number and size of trees installed on the site shall meet the tree density requirements, as set forth City of Lompoc Zoning Code section 17.312 (Landscape and Screening Standards).
- P31. All trees must be planted at least ten feet away from public utilities, to include but not limited to water, sewer, electric, storm drains, cable, telephone, etc.
- P32. All trees must be installed with support staking. All nursery stakes must be removed from trees after two years.
- P33. All trees and plant material selection shall be made with the concurrence of the Planning Division.

PLANNING – LANDSCAPING INSTALLATION CONDITIONS

- P34. Installation of all irrigation and landscaping shall be performed by a licensed landscape contractor. Open trench inspections of the irrigation installation is subject to approval of City officials.
- P35. A layer of brown walk-on bark (minimum of three inches deep per MWEL0), must be applied in all landscape areas. A sample of the bark shall be submitted to the Planning Division for review and approval prior to Planning Division approval of the required landscape plan.
- P36. All plant material is subject to inspection by the Planning Division and must be guaranteed for two years from the date of final inspection.
- P37. Prior to the final inspection by the Planning Division, a Certificate of Completion and Substantial Compliance shall be completed and submitted to the Planning Division.
- P38. All landscaping shall be installed and accepted by the City prior to Planning Division sign-off for the issuance of a Certificate of Occupancy for the building.
- P39. The species, size and number of plants shall be shown on the landscape plans submitted for plan check and approved by the Planning Division prior to installation.

PLANNING – AIR QUALITY CONDITIONS

- P40. Dust (PM₁₀) - a dust abatement program shall be prepared by the applicant and submitted with the grading/improvement plans. The program shall be reviewed and approved by the City Engineer, Senior Environmental Coordinator, and Planning Manager prior to issuance of grading permits. The dust abatement program shall include, but is not limited to, the following dust control measures:
- a. Sprinkle all construction areas with water (recycled when possible) at least twice a day, during excavation and other ground-preparing operations, to reduce fugitive dust emissions.
 - b. Construction sites shall be watered and all equipment cleaned in the morning and evening to reduce particulate and dust emissions.
 - c. Cover stockpiles of sand, soil, and similar materials, or surround them with windbreaks.
 - d. Cover trucks hauling dirt and debris to reduce spillage onto paved surfaces or have adequate freeboard to prevent spillage.
 - e. Post signs that limit vehicle speeds on unpaved roads and over disturbed soils to 10 miles per hour during construction.
 - f. Soil binders shall be spread on construction sites, on unpaved roads, and on parking areas; ground cover shall be re-established through seeding and watering.
 - g. Sweep up dirt and debris spilled onto paved surfaces immediately to reduce resuspension of particulate matter through vehicle movement over those surfaces.
 - h. Require the construction contractor to designate a person or persons to oversee the implementation of a comprehensive dust control program and to increase watering, as necessary.
 - i. The name and 24/7 contact information for the person responsible for dust control shall be provided to the City prior to issuance of grading permits.
 - j. If dust is not controlled on the site, the City shall shut down work on the project until the applicant can provide adequate dust control.
 - k. Streets and alleys surrounding the project shall be kept clean and free of dirt.
- P41. Ozone (O₃) Precursors: (NO_x and ROC)
- a. All construction equipment engines and emission systems shall be maintained in proper operating order, in accordance with manufacturers'

specifications, to reduce ozone precursor emissions from stationary and mobile construction equipment.

- b. If feasible, electricity from power poles or ground lines shall be used in place of temporary diesel- or gasoline-powered generators.

PLANNING – PROJECT SPECIFIC CONDITIONS

- P42. A Temporary Use Permit shall be obtained from the Planning Division prior to installation of a construction trailer on the project site.
- P43. The applicant shall contact all applicable regulatory agencies and apply for necessary permits prior to occupancy.
- P44. The parking lot shall be double-striped in conformance with LMC Section 17.112.090 (Parking Lot Design Criteria and Requirements). The striping shall be shown on the plans submitted into plan check with the Building Division and work completed prior to Planning Division sign-off of the Certificate of Occupancy.
- P45. In accordance with Parking Standards contained in LMC Chapter 17.308 (Parking Standards) and Section 17.308.050 (Bicycle Parking), a minimum of 2 bicycle spaces (bike racks), or 5% of the required parking spaces, shall be located within 50 feet of walking distance to the main entrance of the building.
- P46. Tenant improvements, including interior modifications, will be subject to building permit requirements.
- P47. No permanent outdoor storage of any kind is allowed or approved on-site.
- P48. All of the Special Conditions shall constitute restrictions running with the land and shall be binding upon the owner of the land, his successors or assigns and a covenant to the effect may be required.
- P49. The existing trash enclosure shall include doors and said doors shall be shown on the plans submitted to the Building Division for plancheck. An agreement for servicing the solid waste shall be obtained from the Solid Waste Division prior to Planning Division final sign off on a building permit.
- P50. The proposed landscaping shall be compatible with eucalyptus trees, and this shall be shown on the landscaping plans to be reviewed separately by staff.
- P51. The landscaping plan shall include 3 new trees (24" box in size) along the southern shopping center entrance landscape planter area. The additional trees shall be shown on the landscaping plans to be reviewed separately by staff.
- P52. The existing terra cotta roof shall remain and any changes to the roof materials must be reviewed by the Planning Division for consistency with the existing shopping center.

II. BUILDING AND LIFE SAFETY

BUILDING - GENERAL CONDITIONS

- B1. The Project shall comply with the requirements of the most recently adopted version of Title 24, California Code of Regulations, and City of Lompoc regulations.
- B2. Plans are to be prepared by a California licensed Architect, Civil Engineer or Structural Engineer in accordance with California state law unless specifically exempted.
- B3. Fire-resistive assemblies may be required for occupancy separation and/or exterior wall protection. Parapets may be required in accordance with the California Building Code (CBC) and the California Fire Code (CFC).
- B4. Dimensioned building setbacks and property lines, easements, street centerlines, and dimensions between buildings or other structures, along with all significant site features, shall be shown and identified on plot plans.
- B5. All property lines and easements shall be shown and identified on the plot plan. A written statement by the Applicant that such lines and easements are shown is required.
- B6. Plans shall include a complete and comprehensive project description and code analysis, addressing, at a minimum:
 - a) Complete description of the scope of work to be performed, including work to be performed on all existing and proposed construction.
 - b) Clearly delineated applicable codes for the project, including applicable building code (i.e., CA Building Code or CA Residential Code)
 - c) Use and Occupancy Classification: Provide floor area(s) of structure(s) broken down by occupancy classification per Chapter 3 of the California Building Code (CBC)
 - d) Type of Construction, in accordance with Chapter 6 of the CBC
 - e) Special detailed requirements, if applicable, in accordance with Chapter 4 of the CBC
 - f) Occupancy separation requirements and exterior wall protection in accordance with Chapter 5 and 7 of the CBC

- g) Proposed fire and/or smoke protection features in accordance with chapters 7 and 9 of the C.B.C.
 - h) Plan sheets for Plumbing, Mechanical and Electrical shall be provided.
- B7. Supplemental submittal requirements required for issuance of a building permit may include, as applicable, complete Construction Documents, Soils Reports, Soils Engineer's substantial conformance letter, Energy Compliance forms, California Green Building Standards Code (CGBSC) compliance forms, CWM (Construction Waste Management) plans, listing of required Special Inspections and a listing of deferred submittals.
- B8. State of California accessibility requirements shall be incorporated into the project as required, showing compliance with CBC Chapter 11A, CBC Chapter 11B, or both, as applicable. Existing accessible elements shall be analyzed for compliance with current accessibility provisions and their status shall be clearly shown on plans. Improvements as required by Chapter 11B shall also be shown on plans and plans shall include all applicable accessibility detailing.
- B9. Project shall comply with current City and State water conservation and storm water regulations.
- B10. Fire sprinklers shall be provided if required per Building, Fire, and/or City codes.
- B11. Contractors shall minimize the use of street parking by construction workers and equipment during construction. Temporary toilet and handwashing facilities for construction are required. Trash and debris shall be contained on-site. Recycling/Salvaging of materials for re-use shall comply with the California Green Building Standards Code.
- B12. Plans and supporting documentation shall be provided to the Building and Safety Division a minimum of five business days in advance of formal building permit submittal. Building and Safety staff will evaluate the provided plans and supporting documentation in order to determine whether or not the submittal is complete enough to perform a comprehensive plan review. Formal submittals for building permits will not be accepted until deemed complete.
- B13. At the discretion of the Building Official, a pre-construction meeting may be required on site prior to commencement of work. Pre-construction meetings are to be scheduled at least 72 hours in advance with the Building Division. All key team members shall be present, including the General Contractor and the Architect and/or Engineer of Record.
- B14. No work may commence until a Building Permit is issued from the Building and

Safety Division.

- B15. No one shall occupy the building until a Certificate of Occupancy has been issued by the Building Official.

BUILDING – NO PROJECT SPECIFIC CONDITIONS

III. FIRE

FIRE – GENERAL CONDITIONS

- F1. Ensure proper licensing of fire protection system engineer(s) and California State Fire Marshal licensed installers for design specific systems. Additionally, a City of Lompoc business license may be required of any installers. Verify with the City Clerk any concerns for the local business license of project employees.
- F2. A Knox key box shall be installed as directed by the Fire Code Official when a building permit is obtained for any work. The key box shall contain keys that will allow the fire department access to all portions of the building. The keys shall have tags affixed identifying their purpose. The nominal height of the Knox box installations shall be 5 feet above grade. Consult with the Fire Marshal for placement and specifications. One on the front and rear will be required.
- F3. Any area that requires a red curb shall be maintained at all times. OSHA Red or similar paint is required with a highly reflective white paint stenciled on the red paint that reads: "FIRE LANE – NO PARKING" in repeating intervals.
- F4. All fire extinguishers required to have an 'A' rating shall have a minimum rating of 2A10BC. Location, number and types shall be in accordance the California Code of Regulations Title 19. Any areas of hazard may require larger extinguishers, consult Title 19.
- F5. Proper posting of "no parking except in designated stalls" signs shall be installed and always maintained. Vehicle towing procedures shall be posted as well as the CVC code.
- F6. A Knox key box shall be installed as directed by the Fire Code Official when a building permit is obtained for any work. The key box shall contain keys that will allow the fire department access to all portions of the building. The keys shall have tags affixed identifying their purpose. The nominal height of the Knox box installations shall be 5 feet above grade. Consult with the Fire Marshal for placement and specifications. One on the front and rear will be required.
- F7. The building address shall be of high contrast, at a height and location approved by the Fire Marshall facing H St. with a minimum of 10-inches in height and 1-inch thick numerically.
- F8. Exit and or access doors are required to be clearly identifiable where deemed necessary for emergency operations. This may include proper labeling.

- F9. No one shall occupy the building until a Certificate of Occupancy has been issued.
- F10. Annual fire inspections are required for an operational permit. Contact the Lompoc Fire Department at (805)-736-4513 annually at least 2 weeks prior to schedule a fire inspection with an engine company.
- F11. The Knox box key box shall contain ALL keys to all areas of the occupancy. Immediately update the Lompoc Fire Department of any lock changes and request a site visit to update the keys in the Knox box. Keys shall be clearly labelled and on a key ring.
- F12. Occupancy load shall be established by the Fire Marshal and Building Official and posted in a clear conspicuous location. There are no exceptions to the maximum occupant load, which is enforced 365 days a year, all hours, day and night.
- F13. Gas detection systems shall be designed to detect all possible gas hazards for the occupancy. Separate audio/visual devices shall be installed dedicated to the gas detectors with clear signage stating what type of gas detector with differentiation from fire alarm devices, if applicable for carbon dioxide soda fountain compressed gases.

FIRE – NO PROJECT SPECIFIC CONDITIONS

IV. GRADING – PROJECT SPECIFIC CONDITIONS

- GR1. This remodel project will NOT require a Grading Permit to be issued but must show the grades for accessible stalls and replacement asphalt and concrete areas on the architectural plan set. Grades shall be sufficient to show the accessible path of travel(s), the drainage of the site is maintained in accordance with the original drainage patterns, and the tie(s) to existing drive aisles, parking stalls and walkways.
- GR2. The Contractor shall use reclaimed or recycled water whenever possible for on-site Project work, to the extent such water is not detrimental to the quality of the work and does not cause a hazard to public health. In accordance with Lompoc Municipal Code section 13.04.060 the use of potable water in Lompoc is prohibited for: washing paved surfaces, hardscape, and open ground; and for dust control at construction sites when recycled water is available. Reclaimed or recycled water is available to the Contractor from a source at the Lompoc Regional Wastewater Treatment Plant located at 1801 W. Central Avenue in Lompoc, at rates less than the City's potable water rates. Contact the City Utilities Department at City Hall for more information, at (805) 736-1261.

V. STORMWATER – GENERAL CONDITIONS

- S1. Provide a Storm Water Post Construction Evaluation Form showing that the Redevelopment area is less than 5,000 SF.
- S2. Roof drains and gutters shall be directed to landscaping, unless to do so would result in foundation damage or slope instability, as verified by a statement to that effect, stamp and signature, by qualified engineer, on the improvement plans.
- S3. No pollutants, including, but not limited to, sediment, chemicals, trash and contaminated storm water shall be discharged from private property into, or where they could be transported to, City property, the City’s storm drain system, streets, storm channels, or waterways, either during or after construction.

VI. WASTEWATER

NO GENERAL OR PROJECT SPECIFIC CONDITIONS

VII. ENGINEERING

NO GENERAL OR PROJECT SPECIFIC CONDITIONS

VIII. AVIATION/TRANSIT

NO GENERAL OR PROJECT SPECIFIC CONDITIONS

IX. ELECTRIC

NO GENERAL OR PROJECT SPECIFIC CONDITIONS

X. SOLID WASTE

NO GENERAL OR PROJECT SPECIFIC CONDITIONS

XI. WATER

NO GENERAL OR PROJECT SPECIFIC CONDITIONS

XII. POLICE – GENERAL CONDITIONS

- PD1. A list with contact information for responsible persons should be provided (listed in the rank of whom to call first, etc.).
- PD2. Hours of construction operations should be clearly listed for the proposals.
- PD3. Surveillance cameras should be installed to cover construction equipment, storage of lumber, and tools.
- PD4. If security is on-site, their contact information should be provided.

PD5. All emergency and responsible contact information should be made available to the Lompoc Police Department Dispatch Center.

PD6. If the construction area is gated or fenced, gate access codes or lock access will be made available to the Lompoc Police Department.

PROJECT SPECIFIC CONDITIONS

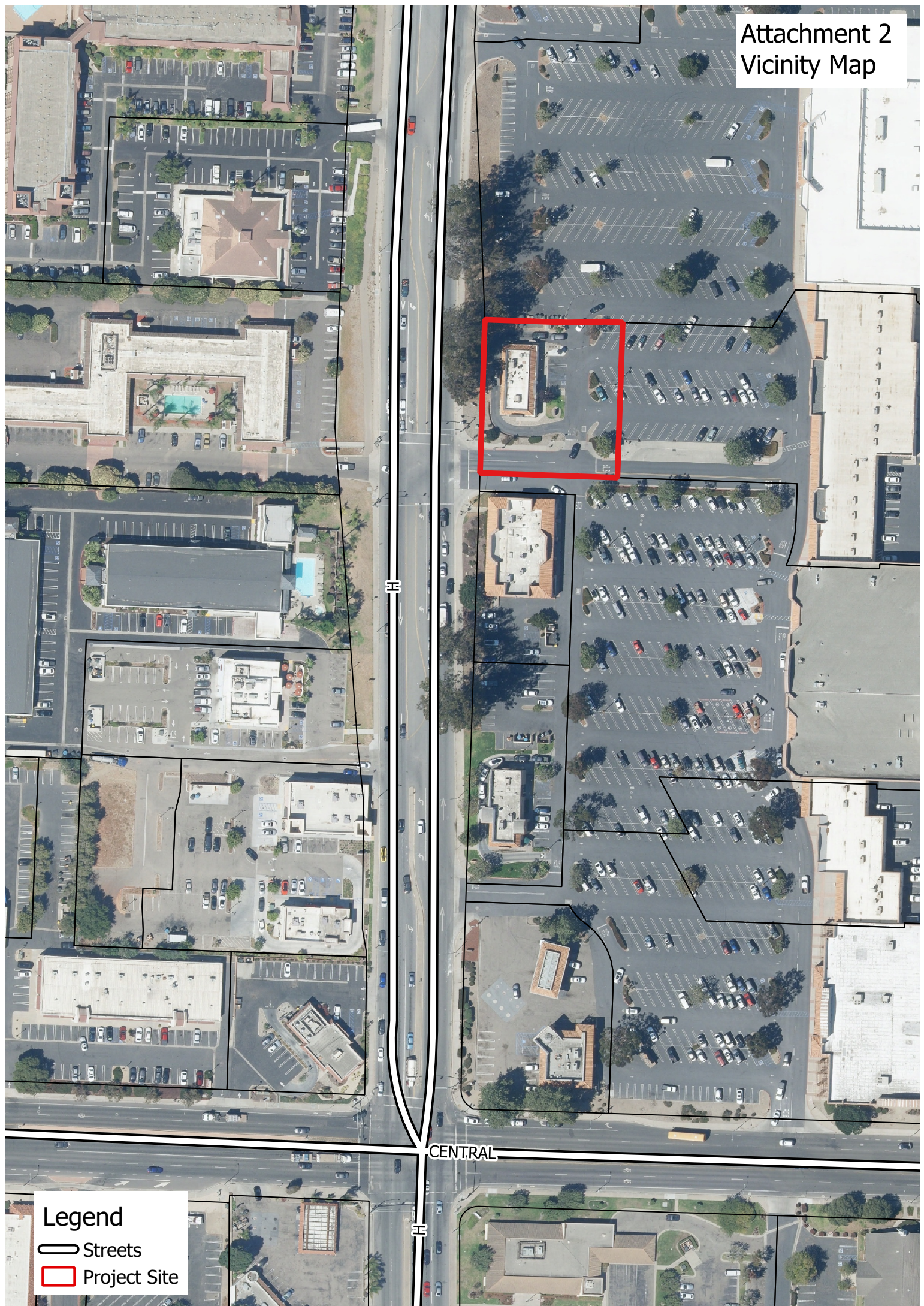
PD7. Surveillance cameras shall be installed to cover exterior common areas, including drive-through and walk-up windows.

I do hereby declare under penalty of perjury that I accept all conditions imposed by the Planning Commission in their approval of the project. As the project owner/applicant, I agree to comply with these conditions and all other applicable laws and regulations at all times.



_____, in his/her capacity as _____ of _____
Wheeler Separate Share Trust, Property Owner Date

Brent Flynn, Applicant Date

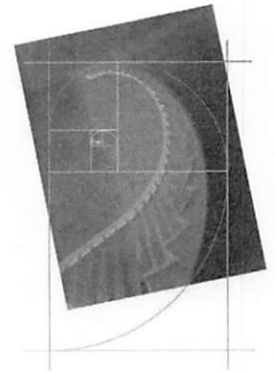
Attachment 2 Vicinity Map



Legend

-  Streets
-  Project Site

CENTRAL



VMI architecture
Design - Planning - Interiors

Taco Bell Remodel
1548 North H Street, Lompoc

Legal Description: All of Parcel 7, LOM 455P as recorded in Parcel map Book 48, Pages, 5,6,7 and 8 Santa Barbara Recorder Assesors Parcel No. APN: 93-490-07

Project Scope:

Site Work:

- Existing site to be made fully accessible per California Building Code CBC 11B.
- Modifications to existing drive-through lane, sidewalks, concrete curbs
- Replace existing asphalt drive-through lane with black concrete
- Accessible path of travel at sidewalk to extend to street corner including new curb ramps
- New landscaping within area of work
- All signage including new digital menu board, direction signs, speaker post, LED light strip, to be filed under a **separate permit**.
- No change in number of parking spaces

Exterior Work:

- Building footprint to increase from 2,819 SF to 2,849 SF (30 SF total)
- Existing building height is 16'11" at roof parapet, proposed building height is 20'6" due to modification of towers.
- Building exterior will receive new paint colors, misc. modifications and updated LED lighting. No change to the lot lights.

LOCAL DESCRIPTION: ALL OF PARCEL 1, LOW RISE ASSOCIATES INC. PARCEL MAP BOOK 48, PAGE 587, AND 588, SAN ANTONIO, TEXAS. ADDRESS: 14936 NORTH H STREET.

DATE	DESCRIPTION
08/14/2024	CONCEPT DESIGN
08/14/2024	SCHEMATIC DESIGN
08/14/2024	PRELIMINARY DESIGN
08/14/2024	FINAL DESIGN
08/14/2024	AS-BUILT

PROJECT SUMMARY

PROJECT NAME	RENOVATION AND REMODEL OF TACO BELL RESTAURANT
OWNER	LOW RISE ASSOCIATES INC.
DESIGNER	VMI ARCHITECTURE
PROJECT NO.	22044
DATE	08/14/2024

ADJACENT USE: SHOPPING CENTER (PARKING)

149.36'

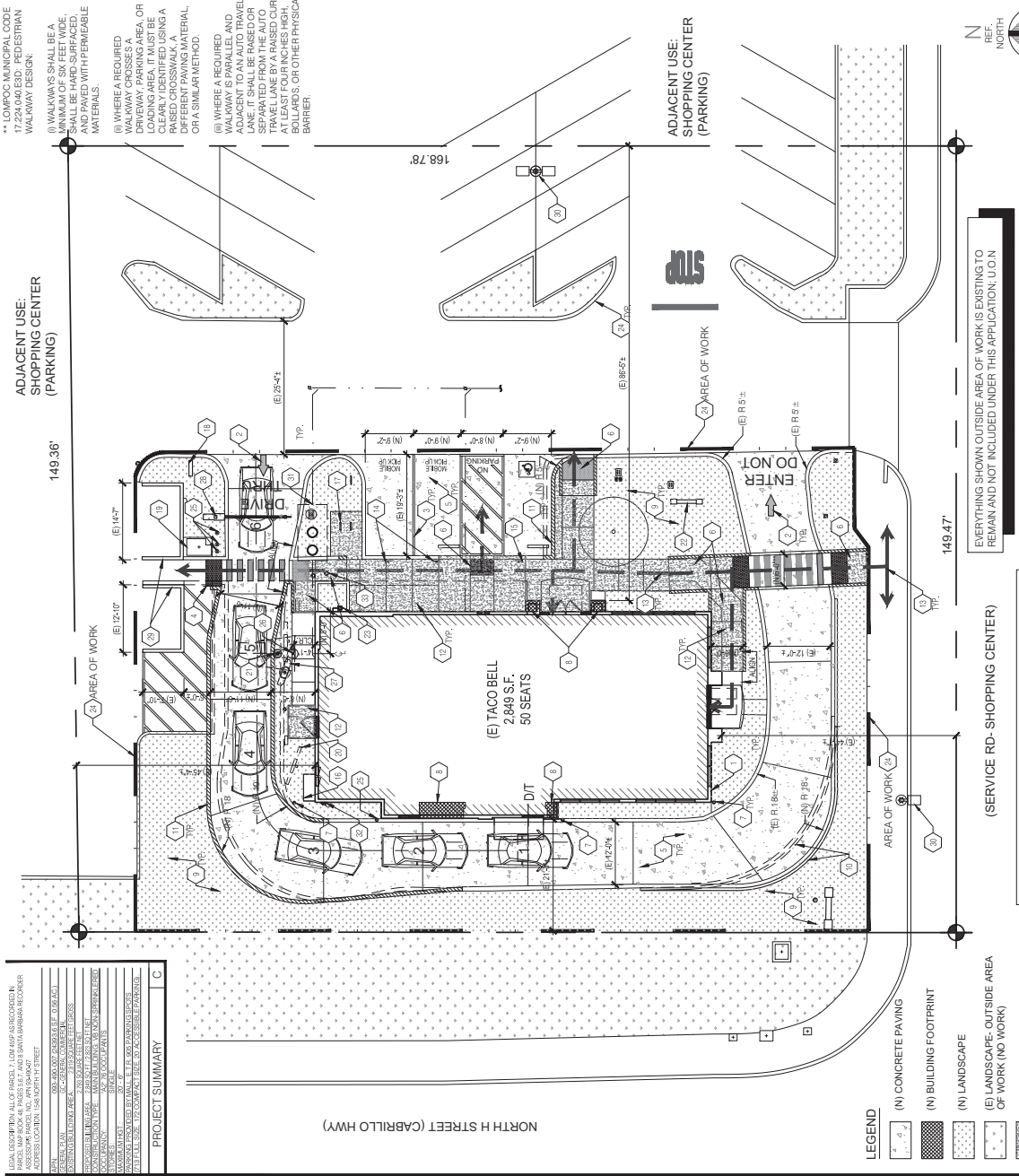
168.78'

149.47'

149.47'

149.47'

149.47'



LEGEND

- (N) CONCRETE PAVING
- (N) BUILDING FOOTPRINT
- (N) LANDSCAPE
- (E) LANDSCAPE OUTSIDE AREA OF WORK (NO WORK)
- (N) CONC. RAMPS OR SIDEWALK
- (N) CONCRETE CURB U.O.N.
- (E) CONCRETE CURB TO BE DEMOLISHED

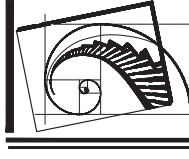
(SERVICE RD- SHOPPING CENTER)

EVERYTHING SHOWN OUTSIDE AREA OF WORK IS EXISTING TO REMAIN AND NOT INCLUDED UNDER THIS APPLICATION; U O N

EXISTING BUILDING & SITE TO FULLY CONFORM W/ CALIFORNIA BUILDING CODE CBC 11B FOR ACCESSIBILITY; GC TO NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE FOUND DURING CONSTRUCTION AND MAKE CORRECTIONS AS NEEDED.

ALL BUILDING & SITE SIGNAGE, INCLUDING DIGITAL MENU BOARD, DIRECTIONAL SIGNS, SPEAKER POST/ CONFIRMATION BOARD, ETC. ARE TO BE REVIEWED UNDER SEPARATE PERMIT.

- THE FOLLOWING SCOPE IS PROPOSED UNDER THIS APPLICATION:**
- NEW PAINT AT BUILDING EXTERIOR. SEE FA4.0 FOR EXTERIOR FINISH SCHEDULE, TYP.
 - REPAINT (E) DIRECTIONAL SIGNS, TYPICAL & REPAIR (E) TEXT ON DRIVE THRU ENTRANCE/EXIT (24" LETTERS), TYPICAL.
 - RESTRIP PARKING IN AREA OF WORK. NO CHANGE IN NUMBER OF (E) PARKING SPACES.
 - CUT THROUGH 6" W/ (N) PER CBC 11B 406.6 WITH (N) TRUNCATED CONE WARNING STRIP 36" WIDE.
 - DEMO (E) PAVING AT DRIVE THRU LANE AND PARKING SPACES ADJACENT TO TACO BELL (IN AREA OF WORK). REPLACE ASPHALT PAVING WITH W/ NEW BLACK CONCRETE.
 - (N) DEPRESSED CURB RAMP WITH (N) TRUNCATED CONE WARNING STRIP 36" WIDE ACROSS FULL WIDTH OF WALKWAY WHERE PATH OF TRAVEL CHANGES INTO VEHICULARWAYS (11-12 MAX. SLOPE). TO COMPLY WITH CBC-11B.
 - INSTALL 6" DIAMETER STEEL CONCRETE FILLED BOLLARD PER DETAIL Z, SHEET A0.1.
 - NEW ADDITION OR MODIFICATION TO EXISTING TACO BELL RESTAURANT. 80 SQ FT, TOTAL.
 - (N) LANDSCAPE IN AREA OF WORK. LOW WATER USE, WELO COMPLIANT.
 - (N) LOW WOOD RETAINING WALL TO REPLACE EXISTING WOOD RETAINING WALL (APPROX 12' H).
 - (N) CURB (HATCHED, TYP).
 - REPLACE SIDEWALK IN HATCHED AREAS (NEW CONFIGURATION, COMPLY W/ LOMPOC MUNICIPAL CODE 17.224.040.E3D NEW ACCESSIBLE PATH. **
 - ACCESSIBLE PATH OF TRAVEL.
 - THE FOLLOWING SCOPE IS EXISTING TO REMAIN OR TO BE FILED UNDER A SEPARATE PERMIT APPLICATION SHOWN FOR REFERENCE ONLY.
 - REPLACE MOBILE PICKUP RESERVED PARKING SPACE SIGN. PER DETAIL B, SHEET A0.1.
 - REPLACE ACCESSIBLE PARKING SIGN.
 - (E) ELECTRICAL SWITCHGEAR TO REMAIN. PAINT TO MATCH ACCENT BUILDING COLOR.
 - INSTALL (N) BIKE RACKS PER DETAIL 20, SHEET A0.1.
 - REPLACE (E) DOUBLE FACED DIRECTIONAL SIGN (UNDER SEPARATE PERMIT, PROVIDED BY SIGN SUPPLIER).
 - (E) ELECTRICAL TRANSFORMER (NO WORK).
 - REMOVE (E) MENU BOARD.
 - REMOVE (E) PREVIEW BOARD; GC TO INSTALL THE FOLLOWING AT SAME LOCATION: (E) OCB ORDER CONFIRMATION BOARD, (N) SENSOR LOOP, (N) SPEAKER FEDESTAL. PROVIDED BY SIGN SUPPLIER. ALL UNDER SEPARATE PERMIT.
 - REPLACE TACO BELL SIGN @ (E) MONUMENT SIGN. FEDESTAL. TO REMAIN. SIGNAGE TO BE FILED UNDER SEPARATE PERMIT. PER DETAIL 12, SHEET A0.1.
 - (E) GAS METER TO REMAIN - NO WORK.
 - REAS SURFACE AREA OF WORK ARE NOT INCLUDED IN SCOPE AND SHOWN FOR REFERENCE ONLY, TYP.
 - (E) BOLLARDS TO REMAIN TYP.
 - (N) ORDER CANOPY. PROVIDED BY OWNER. INSTALL BY G.C. PER DETAIL 1.2, SHEET A0.1. (UNDER SEPARATE PERMIT). PROVIDE 4'-1" CLEAR TO WALL.
 - (N) CLEARANCE BAR PER DETAIL 4.6, SHEET A0.1. (UNDER SEPARATE PERMIT). PROVIDED BY OWNER, INSTALLED BY G.C.
 - (E) PAINTED 5'-4" H. CANI TRASH ENCLOSURE TO REMAIN - NEW PAINT ONLY AS NOTED ON A4.0.
 - EXISTING LOT LIGHTS TO REMAIN. NO CHANGE. MAINTAINED BY SHOPPING CENTER.
 - EXISTING GREASE INTERCEPTOR TO REMAIN CONNECTED TO EXISTING 4" SEWER LINE.
 - EXISTING ELECTRICAL METER TO REMAIN.
 - EXISTING WATER P.O.C. / SHUT OFF VALVE.



VMI Architecture
 Design - Planning - Construction Administration
 41541 15000 - 41541 22950 fax
 www.vmiarch.com



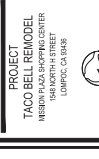
VMI JOB NUMBER
22044

RECORD DATES	11/02/23
DATE SUBMITTED	11/02/23
PROJECT SUBMITTAL	11/02/23
CONTRACT SET	

REVISIONS	

CLIENT
 ENGEN ENTERPRISES, INC.
 16200 WILSON AVENUE
 WEST LAKE VILLAGE, CA 91391
 PHONE: 909.881.6174
 FAX: 909.881.6200

PROJECT
 TACO BELL REMODEL
 MERRILL WADE SHOPPING CENTER
 14936 NORTH H STREET
 LOMPOC, CALIFORNIA



M SUCCESSOR ENDEAVOR

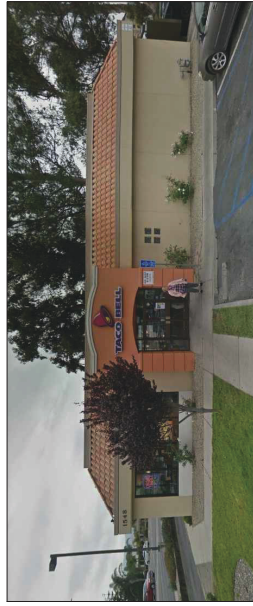
SITE PLAN
A0.0



1. VIEW FACING NORTHEAST



2. VIEW FACING NORTHWEST



3. VIEW FACING WEST



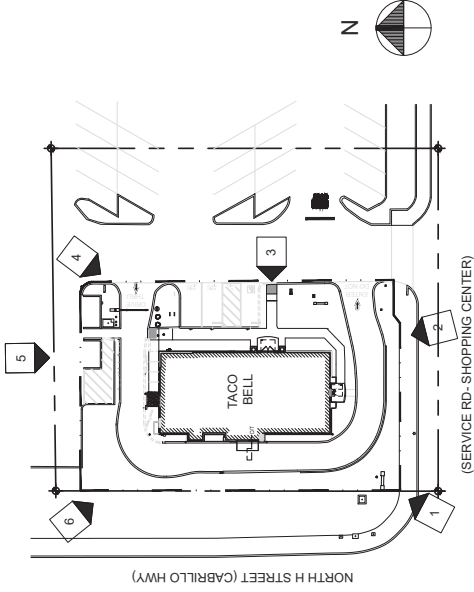
4. VIEW FACING SOUTHWEST



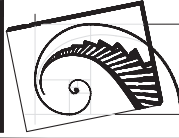
5. VIEW FACING SOUTH



6. VIEW FACING SOUTHEAST



SITE PHOTOS & KEY PLAN OF EXISTING



VMI architecture
 Design + Planning + Architecture
 6000 S. Bascom Avenue, Suite 100
 San Jose, CA 95128
 415-441-1000 • 415-441-2999 fax
 www.vmiarch.com

VMI JOB NUMBER
22044



RECORD DATES
 02.28.2017
 03.01.2017
 03.02.2017
 03.07.2017
 03.08.2017
 03.09.2017
 03.10.2017
 03.11.2017
 03.12.2017
 04.01.2017
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 12.12.2017

REVISIONS

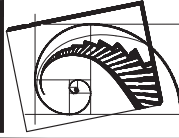
CLIENT
 ENGEN ENTERPRISES, INC.
 WEST LAKE VILLAGE, CA 91392
 PHONE 909.878.4174
 GROUP 24011, 216 432613

PROJECT
 TACO BELL REMODEL
 MERIDIAN PLAZA SHOPPING CENTER
 WEST LAKE VILLAGE, CA 91392



SITE PHOTOS
A0.2

A



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 www.vmjarch.com

PROJECT NUMBER
22044



RECORD DATES
 11/02/23
 02/08/24
 05/01/24
 08/01/24
 11/01/24

REVISIONS

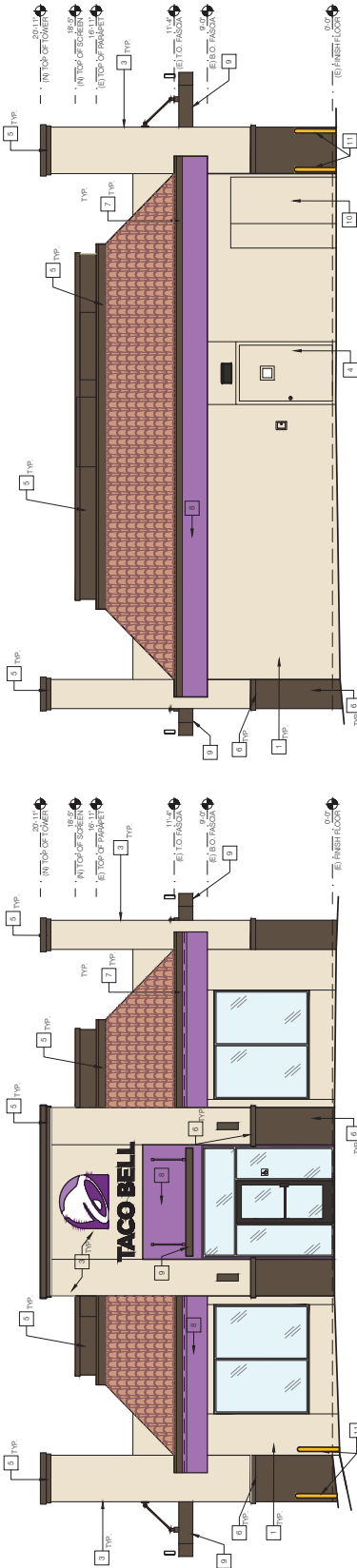
CLIENT
ENGEN ENTERPRISES, INC.
 WEST LAKE PLACID, CA 91352
 PHONE 909-881-8474
 GROUP 24111, BLD 22044

PROJECT
TACO BELL REMODEL
 HERMAN WALKER SHOPPING CENTER
 LINDSEY, CALIFORNIA



**M SUCCESSOR
 ENDEAVOR**

COLOR
 EXTERIOR
 ELEVATIONS
A4.2

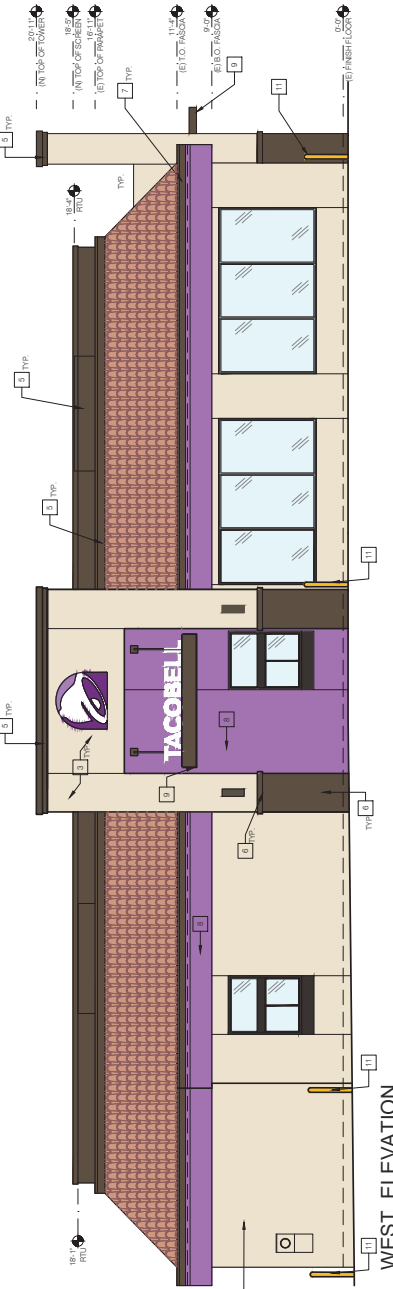


SOUTH ELEVATION

NORTH ELEVATION



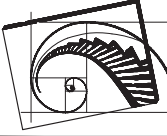
EAST ELEVATION



WEST ELEVATION

SYMBOL	AREA	COLOR
1	AWNING BUILDING - STUCCO	CLASSICAL WHITE SW/609
2	TRIM BAND (MURAL AND SERVICE DOOR)	CLASSICAL WHITE SW/609
3	TOWER - PORTAL - STUCCO	CLASSICAL WHITE SW/609
4	SERVICE DOOR	CLASSICAL WHITE SW/609
5	FRAMING CAP (EQUIP SCREEN & DOWNSPOUT)	TALL BIRD BROWN SW/727
6	TOWER WINDSCOP AND TRIM BAND	TALL BIRD BROWN SW/727
7	ACCENT TRIM BAND STUCCO	CLASSICAL WHITE SW/609
8	ACCENT WALL COLOR - STUCCO	CLASSICAL WHITE SW/609
9	METAL CANopies - AWNINGS	SPRAC POWER COATINGS SW/727
10	SWITCHGEAR	CLASSICAL WHITE SW/609
11	FIRE BOLLARDS	SAFETY YELLOW SW/609

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11469 California Street
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VIJOOB NUMBER
22044



RECORD DATES
02/28/2017
03/16/2017
03/16/2017
CONTRACT SET

REVISIONS

CLIENT
ENGEN ENTERPRISES, INC.
WESTLAKE PLAZA, CA 91372
PHONE 916/878-8774
ENGINEERING PER 42803

PROJECT
TACO BELL REMODEL
MIRANDA SHOPPING CENTER
LUNING, CALIFORNIA

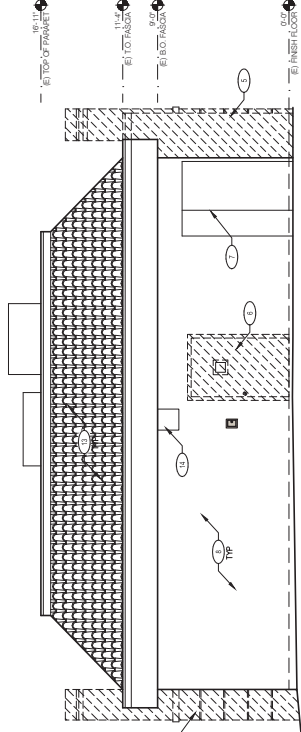


**M SUCCESSOR
ENDEAVOR**

**DEMOLITION
EXTERIOR
ELEVATIONS**

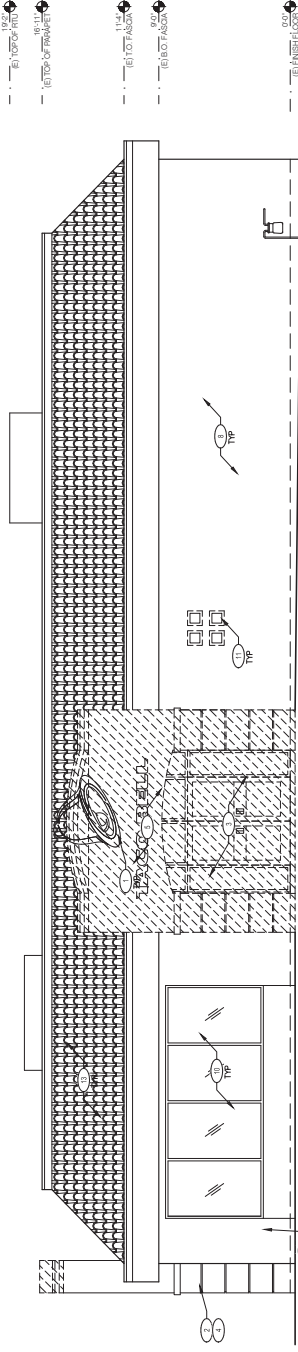
D3.0

KEYNOTES



SOUTH ELEVATION 3/16" = 1'-0"

NORTH ELEVATION 3/16" = 1'-0"



EAST ELEVATION 3/16" = 1'-0"

DEMOLITION LEGEND

REMOVE EXISTING TOWER, SEE DRAWINGS M1.1, M4.1, M4.2, M4.3, M4.4, M4.5, M4.6, M4.7, M4.8, M4.9, M4.10, M4.11, M4.12, M4.13, M4.14, M4.15, M4.16, M4.17, M4.18, M4.19, M4.20, M4.21, M4.22, M4.23, M4.24, M4.25, M4.26, M4.27, M4.28, M4.29, M4.30, M4.31, M4.32, M4.33, M4.34, M4.35, M4.36, M4.37, M4.38, M4.39, M4.40, M4.41, M4.42, M4.43, M4.44, M4.45, M4.46, M4.47, M4.48, M4.49, M4.50, M4.51, M4.52, M4.53, M4.54, M4.55, M4.56, M4.57, M4.58, M4.59, M4.60, M4.61, M4.62, M4.63, M4.64, M4.65, M4.66, M4.67, M4.68, M4.69, M4.70, M4.71, M4.72, M4.73, M4.74, M4.75, M4.76, M4.77, M4.78, M4.79, M4.80, M4.81, M4.82, M4.83, M4.84, M4.85, M4.86, M4.87, M4.88, M4.89, M4.90, M4.91, M4.92, M4.93, M4.94, M4.95, M4.96, M4.97, M4.98, M4.99, M4.100

REMOVE EXISTING TOWER, SEE DRAWINGS M4.1, M4.11

REMOVE EXISTING TOWER TO REMAIN

REMOVE EXISTING TOWER TO REMAIN

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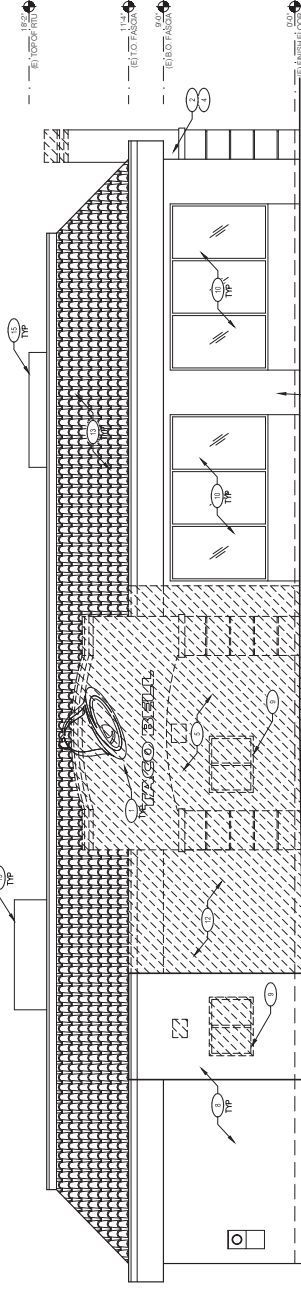
REMOVE EXISTING TOWER TO REMAIN

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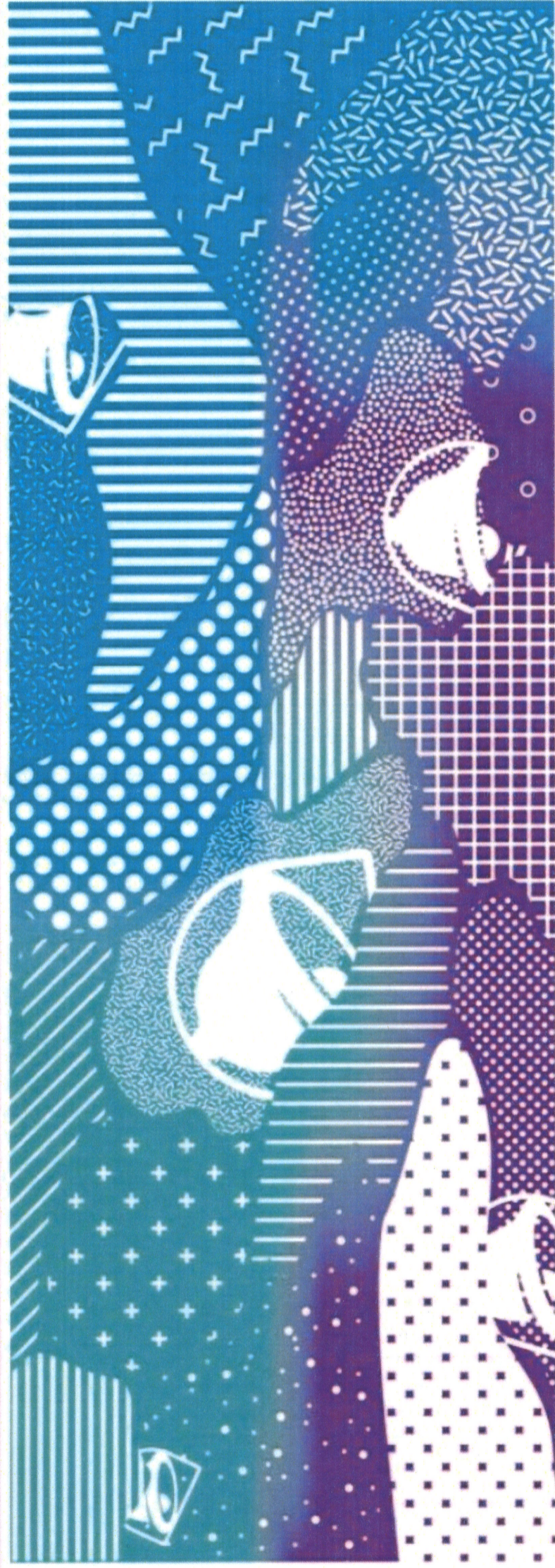
REMOVE EXISTING TOWER TO REMAIN

REMOVE EXISTING TOWER TO REMAIN



WEST ELEVATION 3/16" = 1'-0"

G607



G-607-B-M03-CUSTOM SIZE
Camo pattern-purple
EXTERIOR MURAL