



PLANNING COMMISSION STAFF REPORT

DATE: October 11, 2023

TO: Members of the Planning Commission

From: Cherridah A. Weigel, Assistant Planner

RE: Architectural Design/Site Development Review for the College Skate Park Improvements (DR 2023-0001)

AGENDA ITEM NO. 2

Planning Commission consideration of Architectural Design/Site Development Review for the College Skate Park Improvement project that includes the demolition of an existing skate park and construction of a new concrete skate park, playground equipment, two (2) half basketball courts, gaming area, restroom, fencing, a request for increased outdoor lighting poles, and landscaping on approximately 4.57 acres located at 207 West College Avenue in the Public Facilities and Institutional (PF) zone. The proposed project is exempt from CEQA based on CEQA Guidelines Section 15302 (replacement or reconstruction of existing structures and facilities), Section 15303 (the construction of new small structures), and Section 15332 (in-fill development).

Scope of Review

The Planning Commission is being asked to consider if the proposed development:

- Is consistent with the 2030 General Plan;
- If the project meets development standards for the Zoning District;
- If the required Findings in the Resolution can be made; and
- If the Conditions of Approval are appropriate for the project.

Staff Recommendation

1. Adopt Resolution No. 987 (23) approving DR 2023-0001; or
2. Provide other direction.

Site Data

1. Applicant: Mario Guerrero, City of Lompoc Recreation Manager
2. Property Owner: City of Lompoc
3. Site Location: 207 West College Avenue
4. Assessor's Parcel Number: 089-110-006
5. General Plan Designations: Community Facilities (CF)
6. Zoning Districts: Public Facilities and Institutional (PF)
7. Existing Use: Existing Skate Park (to be demolished)
8. Proposed Use: New Skate Park and recreation area
9. Surrounding Zoning/Uses:
North - R3 / Residential
South - R3 / Residential
East - PCD / Commerical
West - PF / Lompoc High School
10. Site Area: 4.57 acres

Background

Site History

On February 2, 1977, the Santa Barbara County Board of Supervisors approved a lease agreement for the property located at 201 West College Avenue known as College Park, for a Public/Private Partnership between the City of Lompoc and the Lompoc Courthouse Racquetball/Handball Center which opened in 1977. In June/1981, the City of Lompoc and Lompoc Courthouse Racquetball/Handball Center entered into an agreement for the Channel Islands YMCA to assume operation of the facility as Lompoc Valley YMCA.

In 1992 the County of Santa Barbara processed a conveyance of real property transferring ownership of the entire 4.57 acre site to the City of Lompoc.

On April 6, 1999, the City Council adopted Resolution No. 4751 (99) approving a Skateboard Park at College Park. The existing Skate Park opened on May 20, 2000.

On April 29, 2003, the Planning Commission approved the Aquatic Center project. On May 20, 2003, the City Council adopted Resolution No's. 5087 (03), 5088 (03), 5089 (03), 5090 (03) and Ordinance No. 1482 (03) certifying the Final Environmental Impact Report (EIR 02-02) and adopting CEQA Findings and a Statement of Overriding Considerations, approving a General Plan Amendment (GP 02-03), Zone Change (ZC 02-05), and Architectural Design/Site Development Review (DR 02-16) for the Aquatic Center project which was completed in August of 2006.

Project History

In 2019 the Parks and Recreation Division and Community Development Department started the application process for Proposition 68 Statewide Park Development and Community Revitalization Program grant funding program. On December 8, 2021, Christie Alarcon, Community Development Director received notice that out of 468 applications the City of Lompoc was awarded \$3,648,248 in grant funding for the College Skate Park Improvement project.

Public Engagement

In November 2020 City Staff conducted the College Park Community Survey online via Survey Monkey. Of the 88 responses, the Skate Park and the trees were the most liked features of the existing park, and the top three requested improvements were a new skate park (50.57%), restroom (42.53%), and playground (36.78%).

In January 2021 City Staff conducted the College Park Design Options Survey online via Survey Monkey presenting two design concepts created by incorporating all of the information obtained from the previous survey and public outreach. Of the 52 responses, Concept Plan A, a skate park with basketball courts, a wind wall with art, a playground area, and more open space garnered 44.23% of the votes, while Concept Plan B, a skate park with an outdoor stage area received 26.92%, other answers were both equally 3.85%, and neither 25%.

Mario Guerrero, City of Lompoc Recreation Manager, has held several in-person and virtual public workshops throughout this process. Meetings were held on October 17, 2020, January 14, 2021, September 13, 2022, January 14, 2023, and February 9, 2023, to obtain public input on the project proposal including site plan layouts designed by the skate park patrons.

Proposal/Staff Analysis

The proposed College Skate Park Improvement project is situated on 41,161 square feet within an existing 4.57-acre parcel and includes demolition of the existing concrete skate park, removal of two existing bicycle racks, with new construction of a 16,552 square foot concrete Spohn Ranch Skatepark, an 8-foot wind wall with mural art on the west side of the skate park, shade structures and concrete benches, 4,668 square feet of playground equipment with rubber surfacing, two (2) half basketball courts, overhead shade structures with picnic tables, gaming area with two (2) gameboard tables, two (2) corn hole sets, two (2) table tennis tables, concrete benches, trash receptacles, drinking fountain, prefabricated restroom building, 36" steel fencing, lighting and landscaping. The project incorporates inclusive elements in the playground, picnic tables, and gameboard tables.

The proposed lighting would be on satellite timers and operational seven days a week, from dusk to 10:00 p.m., and consist of four (4) 50-foot facility lights (utilized at existing City softball fields) for the skate park area, four (4) 25-foot court lights for the basketball courts, and eleven (11) 16-foot walkway/courtyard lights throughout the park.

Pursuant to Lompoc Municipal Code section 17.304.090.G.1.b, the review authority may approve fixtures greater than 20 feet in height if it determines that the additional height will provide outdoor lighting that still complies with all other requirements of Subsection G.2 (Light and Glare), which are as follows:

A. Lighting fixtures shall be shielded or recessed to minimize light bleed to adjoining properties, by ensuring that the light source (e.g., bulb) is not visible from off the site and confining glare and reflections within the boundaries of the site to the maximum extent feasible.

B. Each light fixture shall be directed downward and away from adjoining properties and public rights-of-way, so that no on-site light fixture directly illuminates an area off the site.

The proposed project outdoor lighting would be shielded and directed downward so that no on-site light fixture directly illuminates an area off-site, and will not spill onto adjacent properties; therefore, staff believes that the Planning Commission can approve outdoor light fixtures that are taller than 20 feet.

Parking Analysis

The proposed project does not make any changes to the size or configuration of the existing parking lot on the site. The site has 136 parking spaces and would have racks for approximately 116 bicycles, after the removal of two for this project. In addition, on September 3, 2002, the Lompoc Unified School District and the City of Lompoc entered into a Community Recreation Agreement allowing the use of 150 parking spaces in the adjacent Lompoc High School parking lot.

In accordance with LMC Chapter 17.308 (Parking Requirements), the parking requirement for Recreation/Outdoor is determined by the Director. Staff has conferred with the Director and has determined that the existing parking is adequate for the proposed project based on other facilities located in the City and in the region.

Landscaping

The site is proposing a variety of new drought tolerant landscaping within the skate park area as seen along West College Avenue and from the adjacent properties. Currently, there are eighteen mature trees located within the existing skate park section of the property. Most, if not all of the trees will be removed for the construction of the project. The proposed landscaping includes the installation of nineteen 36-inch box trees including, Marina Strawberry, Western Redbud, and Pink Trumpets. Other landscaping and California Model Water Efficient Landscape Ordinance (MWLEO) requirements will be verified through a separate Landscape Review which will be ministerially reviewed by Staff.

The project does not comply with the minimum overall requirement of 20% landscape coverage pursuant to LMC Chapter 17.132 (Landscaping and Screening Standards). The site currently has approximately 30,165 square feet of landscaping, and the project is proposing 3,982 square feet of new landscaping for a total of 34,417 square feet of landscape coverage (17%).

Consequently, a Condition of Approval (P51) has been added that requires future construction drawings that are submitted to the Building Division for Planning Division review must comply with all landscaping/screening code requirements.

Lot Coverage

The project does not comply with the maximum overall requirement of 40% lot coverage pursuant to LMC section 17.220.040.A (Other Zones Development Standards). The project site has been previously developed with the YMCA which occupies approximately 12,144 square feet, the Aquatic Center occupying 41,677 square feet, and the proposed 37,537 square feet of hardscape for the Skate Park for a total of 91,358 square feet of lot coverage (45%).

Therefore, a Condition of Approval (P51) has been added that requires future construction drawings that are submitted to the Building Division for Planning Division review must comply with all development standards in the code.

Signage

Although shown on the drawings, signage is not approved as part of the architectural design and site development review process and any future signage will be reviewed administratively at the staff level for compliance with the City's Sign Regulations through a sign/building permit.

Conformance with General Plan

The proposed skate park use is consistent with the Community Facility (CF) and the stated purpose of the designation. The project promotes the educational, recreational, social, and cultural needs of the community and the project and land use are also consistent with General Plan Land Use Element Policies 1.3, 2.1, and 3.1 and Park and Recreation Element Policies 1.3, 1.3, and 3.2.

Conformance with Zoning Code

The proposed project uses are consistent with the Public Facilities and Institutional (PF) Zoning District and the overall proposed project would meet the intent and purpose of the PF District and the remaining associated development standards if the Commission approves the requested Minor Modifications with deviations from development standards (3% reduction in landscaping coverage and 5% overage of lot coverage) and extended lighting height of 50 feet for facility lights and 25 feet for court lights.

Architectural Review

Architectural features for the project include a restroom building with stone wainscoting, metal roof, multiple leaf shade structures, and an 8-foot tall wind wall with mural art (style of art to be determined later). The project has been conditioned to add a park entry feature (COA P49) which will provide a unique park identity for the youth and the community as a whole. Staff review found that the proposed project, as conditioned, is compatible with nearby developments and substantially conforms with the City's Architectural Review Guidelines.

Staff Departmental Review

To adhere to timing deadlines for State Grant funding a Development Review Board (DRB) meeting was not held for the project. The application was circulated to various City departments for review, and each of the departments provided standard and project specific conditions as necessary. These requirements are reflected in the draft Conditions of Approval.

Environmental Determination

The project is exempt from the California Environmental Quality Act (CEQA), based on CEQA Guidelines Sections 15302 (replacement or reconstruction of existing structures and facilities), Section 15303 (the construction of new small structures), and Section 15332 (in-fill development). Furthermore, none of the exception in Section 15300.2 of the CEQA Guidelines apply to this project. This project is exempt from the California Environmental Quality Act (“CEQA”) pursuant to Section 15332 (In-Fill Development Projects) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because (i) it is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designations and regulations, (ii) it occurs within City limits on a project site of no more than five acres substantially surrounded by urban uses, (iii) the project site has no value as habitat for endangered, rare, or threatened species, (iv) approval of the project will not result in any significant effects relating to traffic, noise, air quality, or water quality, and (v) the site can be adequately served by all required utilities and public services. Following the Planning Commission's action, a Notice of Exemption will be filed for the project.

Noticing

On September 27, 2023, a public hearing notice was published in the Lompoc Record. In addition, on September 29, 2023, required notices were mailed by US mail to property owners within 300 feet of the site, and a notice was posted at the project site.

Appeal Rights

Any person has the right to appeal the Planning Commission’s action to the City Council within ten days of the action. Contact a Planning Division staff member for the required appeal form and a fee of \$257.80.

Attachments

1. Resolution No. 987 (23)
2. Vicinity Map
3. Plan Set

Respectfully submitted,



Brian Halvorson
Planning Manager

APPROVED FOR SUBMITTAL TO THE PLANNING COMMISSION:



Christie Alarcon
Community Development Director

RESOLUTION NO. 987 (23)

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOMPOC APPROVING ARCHITECTURAL DESIGN/SITE DEVELOPMENT REVIEW (DR 2023-0001) AND A REQUEST FOR AN INCREASE IN THE ALLOWED HEIGHT FOR OUTDOOR LIGHTS, FOR THE COLLEGE SKATE PARK IMPROVEMENT PROJECT LOCATED AT 207 WEST COLLEGE AVENUE (APN: 089-110-006)

WHEREAS, the City received a request for Architectural Design/Site Development Review (DR 2023-0001) and a request for an increase in the allowed height for outdoor lights for Planning Commission consideration of the College Skate Park Improvement project that includes the demolition of an existing skate park and construction of a new concrete skate park, playground equipment, two (2) half basketball courts, gaming area, restroom, fencing, lighting, and landscaping on approximately 4.57 acres located at 207 West College Avenue in the Public Facilities and Institutional (PF) zone; and

WHEREAS, the matter was considered by the Planning Commission at a duly-noticed public meeting on October 11, 2023; and

WHEREAS, at the meeting of October 11, 2023, staff was present and answered Planning Commissioner questions and addressed their concerns; and

WHEREAS, at the meeting of October 11, 2023, _____ spoke in favor of the project, and _____ spoke in opposition to the project.

NOW, THEREFORE, THE LOMPOC PLANNING COMMISSION RESOLVES AS FOLLOWS:

SECTION 1: After hearing testimony, considering the evidence presented, and due deliberation of the matters presented, Planning Commission finds that:

- A. The proposed development is consistent with the 2030 General Plan.
- B. The proposed development will not be detrimental to the public health, safety, or general welfare.
- C. The proposed development substantially complies with any applicable City design guidelines, including but not limited to the Architectural Review Guidelines.

- D. The proposed development has an appropriate relationship to land use and development of adjacent properties, including topographic and other physical characteristics of the land.
- E. The proposed development has a compatible architectural style with the character of the surrounding area, both to avoid repetition of identical design where not desired and to ensure compatibility in design where desired.

SECTION 2: Regarding the request for an increase in the allowed height for outdoor lights, the Planning Commission finds that:

- A. Regarding the height of the lights, the lighting fixtures shall be shielded or recessed to minimize light bleed to adjoining properties, by ensuring that the light source (e.g., bulb) is not visible from off the site and confining glare and reflections within the boundaries of the site to the maximum extent feasible. Furthermore, each light fixture shall be directed downward and away from adjoining properties and public rights-of-way, so that no on-site light fixture directly illuminates an area off the site.

SECTION 3: The project is exempt from the California Environmental Quality Act (CEQA), based on CEQA Guidelines Sections 15302 (replacement or reconstruction of existing structures and facilities), Section 15303 (the construction of new small structures), and Section 15332 (in-fill development). Furthermore, none of the exception in Section 15300.2 of the CEQA Guidelines apply to this project. This project is exempt from the California Environmental Quality Act (“CEQA”) pursuant to Section 15332 (In-Fill Development Projects) of the CEQA Guidelines, California Code of Regulations, Title 14, Division 6, Chapter 3, because (i) it is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designations and regulations, (ii) it occurs within City limits on a project site of no more than five acres substantially surrounded by urban uses, (iii) the project site has no value as habitat for endangered, rare, or threatened species, (iv) approval of the project will not result in any significant effects relating to traffic, noise, air quality, or water quality, and (v) the site can be adequately served by all required utilities and public services.

SECTION 4: Based upon the foregoing, the proposal is approved on October 11, 2023, subject to the conditions attached as Exhibit A, which are incorporated by reference as if fully set forth herein.

The foregoing Resolution was adopted, on motion by Commissioner _____, seconded by Commissioner _____, at the Planning Commission meeting of October 11, 2023, by the following vote:

AYES:

NOES:

Brian Halvorson, Secretary

Federico Cioni, Chair

Attachment:

Exhibit A – Draft Conditions of Approval

**DRAFT CONDITIONS OF APPROVAL
COLLEGE SKATE PARK IMPROVEMENTS
ARCHITECTURAL DESIGN/SITE DEVELOPMENT REVIEW
(DR 2023-0001)
207 WEST COLLEGE AVENUE
(APN: 089-110-006)**

The following Conditions of Approval apply to Architectural Design/Site Development Review for the College Skate Park Improvement project that includes the demolition of an existing skate park and construction of a new concrete skate park, playground equipment, two (2) half basketball courts, gaming area, restroom, fencing, lighting, and landscaping on approximately 4.57 acres located at 207 West College Avenue in the Public Facilities and Institutional (PF) zone reviewed by the Planning Commission on October 11, 2023.

Expiration: Architectural Design/Site Development Review approval granted by the Planning Commission will expire on October 11, 2024, unless it is implemented before that date, as described in LMC Section 17.552.060. A time extension may be granted pursuant to Lompoc Municipal Code (LMC) Section 17.552.070 if the applicant files an application and written request for an extension prior to the expiration of the permit.

I. PLANNING

PLANNING – GENERAL CONDITIONS

- P1. All applicable provisions of the City of Lompoc Zoning Code are made a part of these conditions of approval in their entirety, as if fully contained herein.
- P2. In conformity with LMC Sections 1.24.060, 17.104.040, and 17.628.010, the violation of any condition listed herein shall constitute a nuisance and a violation of the Lompoc Municipal Code. In conformity with LMC Section 1.24.010, a violation of the Lompoc Municipal Code is punishable as an infraction, unless specifically declared to be a misdemeanor. In addition to criminal penalties, the City may seek injunctive relief. The applicant agrees to pay for all attorney’s fees and costs, including, but not limited to, staff time incurred by the City in obtaining injunctive relief against the applicant as a result of a failure of the applicant to fully perform and adhere to all of the Conditions of Approval.
- P3. The applicant is advised that certain fees and charges will be collected by the City prior to issuance of building permits and/or prior to issuance of Certificates of Occupancy. Pursuant to Government Code Section 66020, the applicant is informed that the 90-day period in which the applicant may protest the fees, dedications, reservation or other exaction imposed on this project through the conditions of approval has begun.

- P4. These conditions of approval, including the letter approving the application and the applicant's and property owner's signed affidavit agreeing to comply with the conditions of approval, shall be noted on the construction drawings filed for any building permits.
- P5. All revisions made by the Planning Commission and specified in the Planning Conditions of Approval shall be shown on a revised site plan, which shall be reviewed by the Planning Division prior to submittal of construction drawings.
- P6. In accordance with LMC Section 17.552.080 (Changes to an Approved Permit), minor changes to an approved permit shall be processed and may be approved by the Director. Major changes shall be reviewed and approved or denied by the review authority that approved the original permit or approval.
- P7. No signage is reviewed at this time. Prior to the installation of any signage or sign related construction, the applicant shall obtain the appropriate permit through the Planning and Building Divisions.
- P8. Owner and Applicant jointly and severally agree to and shall indemnify, defend, protect, and hold harmless City, its officers, employees, agents and representatives, from and against any and all claims, losses, proceedings, damages, causes of action, liabilities, costs and expenses, including reasonable attorney's fees, arising from or in connection with, or caused by (i) any act, omission or negligence of Owner, or their respective contractors, licensees, invitees, agents, sub-lessees, servants or employees, wherever on or adjacent to the Property the same may occur; (ii) any use of the Property, or any accident, injury, death or damage to any person or property occurring in, or on or about the Property, or any part thereof, or from the conduct of Owner's business or from any activity, work or thing done, permitted or suffered by Owner or its sub-lessees, contractors, employees, or invitees, in or about the Property, other than to the extent arising as a result of City's sole active negligence or to the extent of any willful misconduct of the City; and (iii) any default in the performance of any obligations of Owner's part to be performed under the terms of this Agreement, or arising from any negligence of Owner, or any such claim or any action or proceeding brought thereon; and in case any action or proceedings be brought against the City, its officers, employees, agents and representatives, by reason of any such claim, Owner, upon notice from City, shall defend the same at its expense by counsel reasonably satisfactory to City.

Owner and Applicant further jointly and severally agree to and shall indemnify, defend, protect, and hold harmless the City, its officers, employees, agents and representatives, from and against any and all actions brought by any third party to challenge the Project, Applicant's request to use alternative compliance methods to meet inclusionary housing requirements for this project, or the approval, denial, or processing of the same by the City, including environmental determinations and subsequent actions taken by City staff to bring such City approvals or actions into effect. Such indemnification shall include any costs and expenses incurred by City in such action(s), including reasonable attorney's fees and court costs.

- P9. Building permits shall be obtained from the City of Lompoc for any demolition work and proposed new construction.
- P10. The applicant shall notify the City of Lompoc Planning Division of a change of ownership for the property or a change of project representative within 30 days of such change at any time during the City process prior to Certificate of Occupancy.
- P11. The right to use an occupancy permit shall be contingent upon the fulfillment of any general and special conditions imposed by the Preliminary Development Plan procedure.
- P12. All of the conditions shall constitute restrictions running with the land and shall be binding upon the owner of the land, his successors or assigns and a covenant to the effect may be required.
- P13. All of the conditions shall be consented to in writing by the applicant and property owner.
- P14. LMC Section 17.612.030 allows any person to appeal a decision by filing a written notice of appeal with the City Clerk prior to the time the decision becomes final in compliance with LMC Section 17.552.020 or if the decision is not addressed in Section 17.552.020, or becomes effective immediately, then within ten days after the decision. No grading, building, demolition, or other ministerial permit, nor any other discretionary permit, shall be issued by the City for the Project until the later of (1) the expiration of the 10-day appeal period, or (2) the City Council's decision on the appeal, if a timely appeal is filed.
- P15. Pursuant to LMC Section 17.304.090.F, hours of construction shall be limited to:
- Monday through Friday: 7:00 a.m. to 6:00 p.m.
Saturday: 8:00 a.m. to 5:00 p.m.
Sunday: No Construction Allowed
- Minor modifications to the construction hours may be granted by the Planning Manager upon a request in writing.

PLANNING – ARCHITECTURAL CONDITIONS

- P16. The Architectural Design/Site Development Review approval granted by the Planning Commission is valid for one year from the date of approval of this permit and will expire on October 11, 2024. A one-year extension may be granted by the Planning Manager if the applicant submits a request fifteen (15) days prior to the expiration date.
- P17. All facades which extend above the roof line shall be finished on all elevations exposed to public view.

- P18. Pursuant to LMC Chapter 17.312 (Landscape and Screening Standards), all proposed mechanical, ventilation, and utility equipment shall be architecturally screened to prevent visibility from public view and shall be designed and placed to harmonize with the major structures on the site and with the neighborhood.
- P19. Foam material shall not be used for architectural features from the ground level to six (6) feet above ground level. Foam material may be used on portions of the building which are a minimum of six feet above ground level.

PLANNING – SITE PLAN CONDITIONS

- P20. No outside vending machines, except fully enclosed newspaper racks, shall be allowed on site. All newspaper racks shall be pedestal-mounted.

PLANNING – LANDSCAPING GENERAL CONDITIONS

- P21. Six (6) sets (under separate cover) of landscape and irrigation plans shall be submitted to the Planning Division for distribution and review by various City departments/divisions. The landscape and irrigation plans shall be reviewed and approved prior to Planning Division sign-off of a Certificate of Occupancy.

The landscape and irrigation plans shall be prepared by a licensed landscape architect or other qualified professional project designer as designated by City staff; shall have overall dimensions of 24" x 36"; shall show all existing and proposed public utilities within the project limits; and shall have the following approval blocks:

- 1) Planning Manager – private property landscaping; and
 - 2) Urban Forestry Supervisor – Right-of-Way landscaping
 - 3) Public Works Director – Right-of-Way landscaping
- P22. All landscaping shall comply with the Landscape Development Regulations Lompoc Municipal Code chapter 17.312 (Landscape and Screening Standards).
- P23. The landscaping plans to be submitted and reviewed by the Planning Division shall indicate that there is at least 15% landscaping coverage on the subject property in accordance with LMC Section 17.312.030.C (Minimum Landscape Coverage). The landscaping in the right of way is not included in this calculation.
- P24. A Landscape Maintenance Agreement (LMA), in a form satisfactory to the City Attorney, shall be recorded prior to the Planning Division sign-off of a Certificate of Occupancy for the project.
- P25. The project must conform to the Urban Forestry Administrative Guidelines.
- P26. The final landscaping Conditions of Approval shall be printed on the landscape plans filed with the City.

PLANNING – LANDSCAPING IRRIGATION CONDITIONS

- P27. The project must conform to Chapter 15.52 of the Lompoc City Code Water Efficient Landscape and Irrigation Standards and the State of California Model Water Efficiency Landscape Ordinance (MWELO).
- P28. All irrigation must be low-water use, per manufacturer's specifications. A copy of the specifications must be provided to the Planning Division before installation. Installation must include check valves as needed to prevent runoff.
- P29. All irrigation under paving must be Schedule 80 PVC or greater with tracer wires and sleeves.

PLANNING – LANDSCAPING TREE CONDITIONS

- P30. The number and size of trees installed on the site shall meet the tree density requirements, as set forth City of Lompoc Zoning Code section 17.312 (Landscape and Screening Standards).
- P31. All trees must be planted at least ten feet away from public utilities, to include but not limited to water, sewer, electric, storm drains, cable, telephone, etc.
- P32. All trees must be installed with support staking. All nursery stakes must be removed from trees after two years.
- P33. All trees and plant material selection shall be made with the concurrence of the Planning Division.

PLANNING – LANDSCAPING INSTALLATION CONDITIONS

- P34. Installation of all irrigation and landscaping shall be performed by a licensed landscape contractor. Open trench inspections of the irrigation installation is subject to approval of City officials.
- P35. A layer of brown walk-on bark (minimum of three inches deep per MWELO), must be applied in all landscape areas. A sample of the bark shall be submitted to the Planning Division for review and approval prior to Planning Division approval of the required landscape plan.
- P36. All plant material is subject to inspection by the Planning Division and must be guaranteed for two years from the date of final inspection.
- P37. Prior to the final inspection by the Planning Division, a Certificate of Completion and Substantial Compliance shall be completed and submitted to the Planning Division.
- P38. All landscaping shall be installed and accepted by the City prior to Planning Division sign-off for the issuance of a Certificate of Occupancy for the building.

- P39. The species, size and number of plants shall be shown on the landscape plans submitted for plan check and approved by the Planning Division prior to installation.
- P40. Irrigated vine pockets around the trash enclosure shall be included in the final landscape design for plan check review.

PLANNING – AIR QUALITY CONDITIONS

- P41. Dust (PM₁₀) - a dust abatement program shall be prepared by the applicant and submitted with the grading/improvement plans. The program shall be reviewed and approved by the City Engineer, Senior Environmental Coordinator, and Planning Manager prior to issuance of grading permits. The dust abatement program shall include, but is not limited to, the following dust control measures:
- a. Sprinkle all construction areas with water (recycled when possible) at least twice a day, during excavation and other ground-preparing operations, to reduce fugitive dust emissions.
 - b. Construction sites shall be watered and all equipment cleaned in the morning and evening to reduce particulate and dust emissions.
 - c. Cover stockpiles of sand, soil, and similar materials, or surround them with windbreaks.
 - d. Cover trucks hauling dirt and debris to reduce spillage onto paved surfaces or have adequate freeboard to prevent spillage.
 - e. Post signs that limit vehicle speeds on unpaved roads and over disturbed soils to 10 miles per hour during construction.
 - f. Soil binders shall be spread on construction sites, on unpaved roads, and on parking areas; ground cover shall be re-established through seeding and watering.
 - g. Sweep up dirt and debris spilled onto paved surfaces immediately to reduce resuspension of particulate matter through vehicle movement over those surfaces.
 - h. Require the construction contractor to designate a person or persons to oversee the implementation of a comprehensive dust control program and to increase watering, as necessary.
 - i. The name and 24/7 contact information for the person responsible for dust control shall be provided to the City prior to issuance of grading permits.
 - j. If dust is not controlled on the site, the City shall shut down work on the project until the applicant can provide adequate dust control.

- k. Streets and alleys surrounding the project shall be kept clean and free of dirt.

P42. Ozone (O₃) Precursors: (NO_x and ROC)

- a. All construction equipment engines and emission systems shall be maintained in proper operating order, in accordance with manufacturers' specifications, to reduce ozone precursor emissions from stationary and mobile construction equipment.
- b. If feasible, electricity from power poles or ground lines shall be used in place of temporary diesel- or gasoline-powered generators.

PLANNING – CULTURAL RESOURCES CONDITIONS

P43. If archaeological artifacts are unearthed or exposed during demolition or construction, the artifacts and the site shall be evaluated by an experienced Archaeologist. An appropriate plan for the preservation of the artifacts from the site shall be prepared and its implementation overseen by an experienced Archaeologist. In addition, in the unlikely event cultural resources are unexpectedly encountered during ground-disturbing activities, work in the immediate area must halt and an archaeologist meeting the Secretary of the Interior's Professional Qualifications Standards for archaeology (National Park Service [NPS] 1983) must be contacted immediately to evaluate the find. If the resources are prehistoric, a Native American representative must also be contacted to participate in the evaluation of the find. If the discovery proves to be significant, in consultation with the archaeologist and local Native American(s), a mitigation plan shall be prepared and implemented in accordance with state guidelines and in consultation with local Native American group(s). The mitigation plan may include but would not be limited to capping and avoidance, excavation and removal of the resource, interpretive displays, sensitive area signage, or other mutually agreed upon measures.

P44. If paleontological artifacts are unearthed or exposed during demolition or construction, the artifacts and the site shall be evaluated by an experienced Paleontologist. An appropriate plan for the preservation of the artifacts from the site shall be prepared and its implementation overseen by an experienced Paleontologist.

P45. If human remains are discovered during construction, the County Coroner, and the Native American Heritage Commission shall be notified and their recommendations and requirements adhered to, prior to continuation of construction activity.

PLANNING – PROJECT SPECIFIC CONDITIONS

P46. A Temporary Use Permit shall be obtained from the Planning Division prior to installation of a construction trailer on the project site.

P47. The applicant shall contact all applicable regulatory agencies and apply for necessary permits prior to occupancy.

- P48. A lighting plan in compliance with LMC section 17.304.090.G and 17.308.060.D showing lumens (foot candles), fixture type, placement, and height of any lighting proposed for the development to assure that the site has sufficient lighting and that no light and glare spills off of the project site shall be submitted upon Planning Division sign-off on a building permit. All lighting shall be shielded to prevent glare and minimize light intrusion to adjacent properties.
- P49. A Park Entry feature shall be installed near the park entrance. The design and style of the Park Entry feature shall be reviewed administratively by the Planning Division Staff prior to approval of the building permit.
- P50. No permanent outdoor storage of any kind is allowed or approved on-site.
- P51. Construction drawings submitted to the Building Division for Planning Division review must comply with all development standards contained within the PF zone and all landscaping/screening standards contained within LMC chapter 17.312.

II. BUILDING AND LIFE SAFETY

BUILDING - GENERAL CONDITIONS

- B1. The Project shall comply with the requirements of the most recently adopted version of Title 24, California Code of Regulations, and City of Lompoc regulations.
- B2. Plans are to be prepared by a California licensed Architect, Civil Engineer or Structural Engineer in accordance with California state law unless specifically exempted.
- B3. If the project requires greater than fifty cubic yards of grading, provide a separate Grading Plan that complies with City Standards and applicable provisions of the building codes.
- B4. Fire-resistive assemblies may be required for occupancy separation and/or exterior wall protection. Parapets may be required in accordance with the California Building Code (CBC) and the California Fire Code (CFC).
- B5. Dimensioned building setbacks and property lines, easements, street centerlines, and dimensions between buildings or other structures, along with all significant site features, shall be shown and identified on plot plans.
- B6. All property lines and easements shall be shown and identified on the plot plan. A written statement by the Applicant that such lines and easements are shown is required.
- B7. Plans shall include a complete and comprehensive project description and code analysis, addressing, at a minimum:
- a) Complete description of the scope of work to be performed, including work to be performed on all existing and proposed construction.

- b) Clearly delineated applicable codes for the project, including applicable building code (i.e., CA Building Code or CA Residential Code)
 - c) Use and Occupancy Classification: Provide floor area(s) of structure(s) broken down by occupancy classification per Chapter 3 of the California Building Code (CBC)
 - d) Type of Construction, in accordance with Chapter 6 of the CBC
 - e) Special detailed requirements, if applicable, in accordance with Chapter 4 of the CBC
 - f) Proposed versus allowable breakdowns for building heights and areas in accordance with Chapter 5 of the CBC
 - g) Occupancy separation requirements and exterior wall protection in accordance with Chapter 5 and 7 of the CBC
 - h) Proposed fire and/or smoke protection features in accordance with chapters 7 and 9 of the CBC
 - i) Proposed means of egress system for the building(s)
- B8. Supplemental submittal requirements required for issuance of a building permit may include, as applicable, complete Construction Documents, Soils Reports, Soils Engineer's substantial conformance letter, Energy Compliance forms, California Green Building Standards Code (CGBSC) compliance forms, CWM (Construction Waste Management) plans, listing of required Special Inspections and a listing of deferred submittals.
- B9. State of California accessibility requirements shall be incorporated into the project as required, showing compliance with CBC Chapter 11A, CBC Chapter 11B, or both, as applicable. Existing accessible elements shall be analyzed for compliance with current accessibility provisions and their status shall be clearly shown on plans. Improvements as required by Chapter 11B shall also be shown on plans and plans shall include all applicable accessibility detailing.
- B10. Project shall comply with current City and State water conservation and storm water regulations.
- B11. Fire sprinklers shall be provided as required per Building, Fire, and/or City codes.
- B12. Contractor shall minimize the use of street parking by construction workers and equipment during construction. Temporary toilet and handwashing facilities for construction are required. Trash and debris shall be contained on-site. Recycling/Salvaging of materials for re-use shall comply with the California Green Building Standards Code.
- B13. Plans and supporting documentation shall be provided to the Building and Safety Division a minimum of five business days in advance of formal building permit submittal. Building and Safety staff will evaluate the provided plans and supporting documentation in order to determine whether or not the submittal is complete enough to perform a comprehensive plan review. Formal submittals for building permit will not be accepted until deemed complete.
- B14. At the discretion of the Building Official, a pre-construction meeting may be required on site prior to commencement of work. Pre-construction meetings are

to be scheduled at least 72-hours in advance with the Building Division. All key team members shall be present, including the General Contractor and the Architect and/or Engineer of Record.

B15. No work may commence until a Building Permit is issued from Building and Safety Division.

B16. No one shall occupy the building until a Certificate of Occupancy has been issued by the Building Official.

BUILDING – NO PROJECT SPECIFIC CONDITIONS

III. FIRE

FIRE – GENERAL CONDITIONS

F1. A Knox key box shall be installed as directed by the Fire Code Official when a building permit is obtained for any work. The key box shall contain keys that will allow the fire department access to all portions of the building. The keys shall have tags affixed identifying their purpose. The nominal height of the Knox box installations shall be 5 feet above grade. Consult with the Fire Marshal for placement and specifications. One on the front and rear will be required.

F2. Any area that requires a red curb shall be maintained at all times. OSHA Red or similar paint is required with a highly reflective white paint stenciled on the red paint that reads: “FIRE LANE – NO PARKING” in repeating intervals.

F3. All fire extinguishers required to have an ‘A’ rating shall have a minimum rating of 2A10BC. Location, number and types shall be in accordance the California Code of Regulations Title 19. Any areas of hazard may require larger extinguishers, consult Title 19.

F4. Proper posting of “no parking except in designated stalls” signs shall be installed and always maintained. Vehicle towing procedures shall be posted as well as the CVC code.

F5. The Knox box key box shall contain ALL keys to all areas of the occupancy. Immediately update the Lompoc Fire Department of any lock changes and request a site visit to update the keys in the Knox box. Keys shall be clearly labeled and on a key ring.

FIRE – NO PROJECT SPECIFIC CONDITIONS

IV. GRADING – GENERAL CONDITIONS

GR1. Grading Plans shall be prepared by or under the supervision of a registered Civil Engineer or Architect.

GR2. Grading shall be designed in accordance with the City’s “Standard Requirements for The Design and Construction for Subdivisions and Special Developments,” as last revised. Said Standard Requirements are available online at:

<http://www.cityoflomdoc.com/PublicWorks/engineering.htm>

GR3. Grading Plans shall be prepared in conformance with City of Lompoc “Development Assistance Brochures.” E-10 through E-90 that apply, “Development Assistance Brochures” are available to facilitate the preparation of plans and reports by the Applicant’s engineer and are an essential reference for the preparation of Grading Plan submittals. “Development Assistance Brochures” can be obtained from the City Engineering web page:

http://www.cityoflomdoc.com/PublicWorks/develop_asst.htm

GR4. In conformance with Title 12, Chapter 12.28.040 of the Lompoc City Code, the Improvement Plans, including but not limited to, grading, water, sewer, streets, electrical system, and other surface and subsurface improvements, shall be prepared based upon the control monuments as established by the City of Lompoc Coordinate Control System by Record Of Survey filed August 22, 2003, in Book 172, Pages 4 through 7, Santa Barbara County Records. All drawings, improvement plans and survey maps shall be prepared in accordance with the requirements currently in effect.

GR5. First plan check submittal shall include estimated grading quantities, a current soils investigation report, retaining wall calculations, drainage and infiltration analysis/calculations, and all other pertinent information (as needed) relating to the Grading Plans and their approval.

GR6. The Soils Investigation Report shall be prepared by a Soils Engineer who will be retained by the Applicant to observe, test, and certify that all recommendations outlined in the Soils Investigation Report are fulfilled during construction. **A signature block shall be provided on the Grading Plan stating that the Soils Engineer has verified that the plans are in accordance with the Soils Report. The signature block shall list the title of the Soils Report, the preparer and the date prepared.**

GR7. The Contractor shall use reclaimed or recycled water whenever possible for on-site Project work, to the extent such water is not detrimental to the quality of the work and does not cause a hazard to public health. In accordance with Lompoc Municipal Code section 13.04.060 the use of potable water in Lompoc is prohibited for: washing paved surfaces, hardscape, and open ground; and for dust control at construction sites when recycled water is available. Reclaimed or recycled water is available to the Contractor from a source at the Lompoc Regional Wastewater Treatment Plant located at 1801 W. Central Avenue in Lompoc, at rates less than the City’s potable water rates. Contact the City Utilities Department at City Hall for more information, at (805) 736-1261.

- GR8. An Erosion and Sediment Control Plan and related inspections, as required by the State Water Resources Control Board, will be required as a part of the grading permit.
- GR9. Grading Permit fees are based on Section 2 of the Master Fee Schedule adopted by City Council Resolution No. 6009(16).
- GR10. A Grading Permit issued by the Building Division is required prior to any excavation or filling on the site. Any stockpiling of fill dirt will require a Temporary Grading Permit.
- GR11. Prior to the issuance of a Grading Permit, the Applicant shall provide a letter to the Building Division, addressed to the Building Official, stating that the engineer who prepared the Grading Plans, or his/her designated representative, will perform periodic site observations of work shown on the approved Grading Plans. **In addition, the letter shall state that the Owner is aware that as-built drawings will need to be completed by the design engineer and approved by the City prior to the issuance of the Certificate of Occupancy.**
- GR12. The on-site drainage system must be properly designed to maximize infiltration of roof and/or surface runoff into the underlying soil before discharging into a public storm drain, street or alley.
- GR13. Prior to the issuance of the Certificate of Occupancy, Record Drawings in conformance with Development Assistance Brochure (DAB) E-30 shall be prepared and approved by the City Building Official. DAB E-30 is available upon request at the Engineering Division or online at the following City of Lompoc web address:

<http://www.cityoflompoc.com/PublicWorks/pdf/E30.pdf>

- GR14. After the Record Drawings have been approved, the Applicant shall provide the City Management Services Department, Information Systems Division, with the following as-build information, in a computer format readily compatible for transfer to the City Geographic Information System [computer formats acceptable for delivery include DGN; DWG; DXF]. Record Drawing information submitted in computer format will include, but not be limited, to the following:

WATER	WASTEWATER	ELECTRIC	DRAINAGE	SURFACE
Mains	Mains	Lines	Manholes	Road
Valves	Manholes	Transformers	Inlets	Curb/Gutter
Blow-offs	Lift Stations	Junction Boxes	Swales	Sidewalk
Air Vacs	Laterals	Pull Boxes	Basins	Drives
Fire Hydrants		Poles	Structures	Access Ramps
Services		Street Lights	Filters	Parking Lots
Meters			Curb Drains	Survey Mon's
RP Backflow				Retaining Walls
				Bus Turnouts

GRADING – NO PROJECT SPECIFIC CONDITIONS

V. STORMWATER – GENERAL CONDITIONS

- S1. Roof drains and gutters shall be directed to landscaping or infiltration structure(s), unless to do so would result in foundation damage or slope instability, as verified by a statement to that effect, stamp and signature, by qualified engineer, on the improvement plans.
- S2. The property owner shall be responsible for maintaining structural (SCMs) free from trash, litter, and odor and in a manner that allows full functioning and infiltration capacity of the SCM. Maintenance shall be regularly performed as described in the Storm Water Control Measure Maintenance Plan prepared for the project. Infiltration areas shall be maintained to ensure they continue to infiltrate the 85th percentile storm, are clean and devoid of trash/refuse, and that plant materials are living. If infiltration areas cease to function properly and result in off-site flooding, any cost incurred by the City of Lompoc in remediating the situation shall be assessed to the property owner.
- S3. Each SCM shall be inspected a minimum of once a year, cleaned out and replaced as necessary and a report detailing the inspection, date, person inspecting, condition of the SCM and measures taken to clean or replace, shall be submitted to the City of Lompoc's Planning Division, documenting the inspection and any maintenance actions taken.
- S4. No pollutants, including, but not limited to, sediment, chemicals, trash and contaminated storm water shall be discharged from private property into, or where they could be transported to, City property, the City's storm drain system, streets, storm channels, or waterways, either during or after construction.

STORMWATER – PRIOR TO ISSUANCE OF GRADING PERMIT

- S5. A Storm Water Control Plan shall be fully completed, submitted and wet-signed, stamped and dated by a licensed civil engineer.
- S6. The project improvement plans shall show compliance with the storm water requirement for five (5) percent or less Effective Impervious Area (EIA) over the whole property. Storm Water Control Measures (SCMs) including infiltration structures, bio-retention or infiltration basins, vaults or similar, shall be shown, details and cross-sections provided on improvement, grading, drainage and landscaping plans. SCM design, location and proposed plantings shall be subject to review by the City Engineering and Planning Divisions, prior to issuance of grading permits. Percolation testing shall be conducted to determine if the proposed location, size, method and construction proposed for the Infiltration Area(s) will be able to meet the 95% EIA infiltration requirement. Minor modifications to the location and methods of stormwater infiltration, consistent with other conditions of approval, may be approved by Planning Division Staff, as long as the requirement for 5% EIA is met.

- S7. A statement shall be included on the improvement plans that “The site and each infiltration area (Structural Storm Water Control Measures or SCM) is adequately sized and designed to capture and infiltrate 95% of the run-off from the 85th percentile, 24-hour storm, over the new or replaced impervious area on-site, within 72 hours. The statement shall be signed and stamped by a licensed professional engineer.
- S8. All storm water that flows from paved areas of vehicle travel, maintenance, parking or uncovered outdoor storage, shall be filtered for trash, sediment, oil and grease, prior to discharge into City streets, storm drains, infiltration SCMs, landscaped area, biologically sensitive areas or the Santa Ynez River and its tributaries. Full Trash Capture (FTC) devices shall be of the type (5mm max openings) required by the City and the State Water Resources Control Board at the time of installation. Details and cross-sections of storm water filters shall be shown on grading and drainage plans, as well as the type and opening size of the FTC (Full Trash Capture) devices proposed.
- S9. Storm infiltration inlets shall be stenciled “No Dumping, Drains to Groundwater”. Grading and drainage plans shall indicate the location and call out the text of the stencils.
- S10. Prior to issuance of grading permit, the project engineer shall prepare a memo listing short and long-term maintenance requirements, recommended frequency of maintenance, and details of maintenance, for each SCM to be installed. The memo shall be submitted with the improvement plans and will be incorporated into the Storm Water Control Measure (SCM) Maintenance Plan and property owner’s commitment to SCM maintenance.
- S11. Grading and Drainage plans shall provide elevations and directional arrows to show how run-off from each area of the property will be directed to infiltration areas and SCMs. Identify the 5% of the site which is not to be infiltrated.

STORMWATER – PRIOR TO OCCUPANCY

- S12. Just prior to installation of underground SCMs or infiltration basins, the City Planning Division shall be notified at 875-8275 or 875-8277, to allow opportunity to photograph the installation process and materials.
- S13. Prior to Issuance of Occupancy Permits, the property owner(s) shall sign a statement accepting responsibility for the operation and proper maintenance of the Stormwater Control Measures installed on-site, storm water filters, gutters, landscaping and “No Dumping Drains to Groundwater” stencils or markers on storm drain inlets, in a form acceptable to the City Attorney, which shall be recorded prior to issuance of occupancy permit for the project.

S14. Prior to issuance of Occupancy Permits, privately owned SCM features and facilities, and on-site treatment structures and controls shall be inspected by the design engineer to ensure they are properly in place, per the approved plans. As-built plans shall be produced, signed and stamped by the engineer or a letter issued with signature, date and stamp, verifying the proper installation of the project SCMs, including, but not limited to: Infiltration basins or boxes and interceptors or other required storm water filters.

VI. WASTEWATER – GENERAL CONDITIONS

WW1. All new sewer main and lateral installations will be of Polyvinyl Chloride Plastic (PVC) SDR35 sewer pipe, including all pipe fittings and miscellaneous appurtenances. No glue joints are permissible.

WW2. All PVC SDR35 sewer piping shall be furnished in the following lengths:
Piping from 8” to 12” in diameter – 20’ maximum length
Piping from 15” to 60” in diameter – 12.5’ maximum length

WW3. In existing paved streets or alleys trench backfill, from one-foot above sewer pipe to subgrade, shall be one-sack cement slurry. Slurry cement backfill shall conform to the provisions of Subsection 19-3.062, “Slurry Cement Backfill”, of the Caltrans Standard Specifications.

WASTEWATER – PROJECT SPECIFIC CONDITIONS

WW4. Sewer connection for the restroom shall be to the existing sewer lateral within the driveway entrance to the Aquatic Center, directly east of the proposed restroom building.

WW5. Provide an Industrial Waste Survey with the first submittal package for the grading permit.

VII. ENGINEERING – GENERAL CONDITIONS

EN1. Public Improvements are required with this development. Public Improvements include all work within the public right-of-way or easement, as well as improvements to public infrastructure. Separate Public Improvement Plans **are not required**. Public Improvements must be shown on the Grading Plan Set. As such, the Grading Plan (once approved) will be used for encroachment permit issuance.

Public Improvements:

- a. Utilities – Electric (conduit, transformers, street lights, etc.), Water, and Sewer
- b. Streets, Sidewalk, and Curb & Gutter (Public and Private)
- c. Street Signing and Striping

- d. Drainage – Storm Drain Lines, Inlets & Filters, Main Lines, Sidewalk Drains, etc.
- e. Existing and proposed public easements (permanent structures shall not be constructed over any public easements)

Private Improvements:

- a. Connection Points to utility mains for sewer laterals, water services and storm drain.

EN2. Public Improvement Plans shall be prepared by or under the supervision of a registered civil engineer.

EN3. All Public Improvements shall be provided at the Applicant's expense and in accordance with City of Lompoc "Standard Requirements for the Design and Construction for Subdivisions and Special Developments". These Standard Requirements are available at:

<http://www.cityoflompoc.com/standards/>

EN4. "Development Assistance Brochures" are available to facilitate the preparation of plans and reports by the Applicant's engineer and are an essential reference for the preparation of the Grading and Public Improvements Plan submittals. "Development Assistance Brochures" are available at:

http://www.cityoflompoc.com/PublicWorks/develop_asst.htm

EN5. In conformance with Title 12, Chapter 12.28.040 of the Lompoc City Code, the Improvement Plans, including but not limited to, grading, water, sewer, streets, electrical system, and other surface and subsurface improvements, shall be prepared based upon the control monuments as established by the City of Lompoc Coordinate Control System by Record Of Survey filed August 22, 2003, in Book 172, Pages 4 through 7, Santa Barbara County Records. All drawings, improvement plans and survey maps shall be prepared in accordance with the requirements currently in effect.

Landscape Plans

EN6. Any landscape and irrigation plans required by the Planning Division shall be approved by the Public Works and Utility Departments prior to Public Improvement Plan approval by the Engineering Division. An approval block shall be provided on the landscape plan title sheet for the City Engineer's signature.

EN7. All trees and large rooted shrubbery must be planted at least ten feet away from public utilities, including but not limited to, water, sewer, electric, storm drain, cable and telephone.

Permits & Fees

- EN8. Encroachment Permit Fees are based on the City fee schedule in effect at the time of permit issuance.
- EN9. An Encroachment Permit shall be obtained from the Engineering Division for any work within City street right-of-way or easement.
- EN10. Prior to the issuance of an Encroachment Permit, the Applicant shall provide a letter to the Engineering Division, addressed to the City Engineer, stating that the engineer who prepared the Public Improvement Plans, or his/her designated representative, will perform periodic site observations of work shown on the approved Public Improvement Plans and that Record Drawings will be submitted and approved prior to occupancy.

Drainage

- EN11. A Drainage/Hydrology Report shall be submitted to the Engineering Division with the first plan check submittal of the Grading Plans. **If the disturbed area equals or exceeds 1 acre, a SWPPP shall be provided for review and approval prior to Grading Permit issuance.**

Final Approval

- EN12. Prior to issuance of the Certificate of Occupancy, any Public Improvements damaged during construction shall be repaired as directed by the Public Works Inspector and in conformance with the City of Lompoc Standard Plans and Specifications.
- EN13. Prior to issuance of the Certificate of Occupancy, Record Drawings in conformance with Development Assistance Brochure (DAB) E-30 shall be prepared and approved by the City Engineer. DAB E-30 can be downloaded from the City Engineering web page at:

<http://www.cityoflompoc.com/departments/pworks/engineering.htm>

EN14. After construction is complete and the City has approved the Record Drawings, the Applicant shall provide the Engineering Division with a copy of the Record Drawings, in a computer format (DWG, DGN or DXF file) readily compatible for transfer to the City Geographic Information System. Record Drawing information submitted in computer format will include, but not be limited, to the following:

WATER	WASTEWATER	ELECTRIC	DRAINAGE	SURFACE
Mains	Mains	Lines	Manholes	Road
Valves	Manholes	Transformers	Inlets	Curb/Gutter
Blow-offs	Lift Stations	Junction Boxes	Swales	Sidewalk
Air Vacs	Laterals	Pull Boxes	Basins	Drives
Fire Hydrants		Poles	Structures	Access Ramps
Services		Street Lights	Filters	Parking Lots
Meters			Curb Drains	Survey Mon's
RP Backflow				Retaining Walls
				Bus Turnouts

ENGINEERING – NO PROJECT SPECIFIC CONDITIONS

VIII. AVIATION/TRANSIT

NO GENERAL OR PROJECT SPECIFIC CONDITIONS

IX. ELECTRIC

ELECTRIC – GENERAL CONDITIONS

- EL1. The Developer shall sign a Line Extension Agreement and pay all costs for the City to furnish and install electric power lines/equipment to and within the proposed development. These costs will include all labor, labor overhead, material, material handling charges and equipment/vehicle rentals necessary for the City to extend the City’s electrical distribution system to serve the project. The total estimated cost, as mentioned in the Line Extension Agreement, must be paid prior to the City issuance of building permits.

- EL2. The Developer shall provide a single line diagram showing voltage, phase, load requirements and size of planned switchboard. Three-phase electric services up to 200 Amps shall have 7-jaw meter sockets. Three-phase electric services above 200 Amps shall have 13-jaw meter sockets and provisions for a test switch and current transformers. The main switchboard shall conform to Electric Utility Service Equipment Requirements approved by the City of Lompoc. The Developer shall pay the meter installation fee prior to the issuance of the building permit.

- EL3. Electric meters and main disconnect switches shall be located on the exterior of the building or in an enclosure opening only to the exterior of the building. Meter enclosures shall be accessible at all times to electric division personnel. If the enclosure is to be locked, the lock shall be keyed to Schlage Lock No. C38587.

- EL4. The Developer shall provide all necessary trenching and backfilling to Electric Specifications. This will include trenching for primary cable, secondary cable, street light wiring and associated vaults and boxes. The Developer shall provide transformer pads as required. The project shall be at final grade prior to trenching for installation of underground electric facilities.
- EL5. The Developer shall furnish and install the service wire and conduit from the service panel to the transformer or secondary box. Upon approval of the building inspector, the City will make the final connections to the transformer and energize the service.
- EL6. Public Utility Easement required for all City owned electrical lines and pad mounted equipment located on private property.

ELECTRIC – PROJECT SPECIFIC CONDITIONS

- EL7. Proposed electrical service for project to be 100-amp, 120/208 Volt, three phase service from existing electrical transformer located near southeast corner of existing building currently occupied by YMCA. A minimum 4" Schedule 40 PVC conduit will be required to be installed at a minimum 36" below grade from transformer to southeast corner of property and then west until proposed park location reached. Should conduit installation be performed via directional drilling methods, 4-inch HDPE SDR11 conduit shall be specified. A minimum of (2) new 17"x30" secondary pull boxes will be required along route.

X. SOLID WASTE MANAGEMENT – GENERAL CONDITIONS

- SW1. In accordance with the CalGreen Building Code (Sections 4.408 and/or 5.408), applicants are required to submit a site specific Solid Waste Management Plan (SWMP) and divert at least 65% of the construction materials during the project. The SWMP shall include, but not be limited to, the following information: identification of the waste materials to be diverted from landfill disposal through recycling or reuse, diversion methods and strategies, identification of diversion facilities where materials will be taken, and the designee of the responsible party to implement the SWMP. The approved SWMP shall be reproduced on the architectural/construction plans.

SOLID WASTE MANAGEMENT – PROJECT SPECIFIC CONDITIONS

XI. WATER

WATER - GENERAL CONDITIONS

- W1. This facility must comply with plumbing cross-connection control standards as required by City Ordinance and State law for the protection of water supplies. Information on acceptable backflow assemblies is available from the City Water Division.

- W2. The size and location of all water services and meters shall be determined by the Engineer/Architect or authorized representative. All water meters will be furnished and installed by the Water Division at the expense of the Applicant. **The sufficiency of the flow from the existing water service and meter shall be verified by the Engineer/Architect or authorized representative.**
- W3. All meter protection shall be by an approved Reduced Pressure Principle Backflow Prevention Assembly (RP) at the service connection. Information on acceptable assemblies is available from the City Water Division.
- W4. All public water system components to be City-owned and maintained must be constructed within public right-of-way or public easements.
- W5. When a fire sprinkler system is required or proposed, the utility plan shall show the location of the Fire Department Connection (FDC) with reference dimensions to the nearest fire hydrant. **Fire Department requires fire department connections to be within 50' of a fire hydrant.**
- W6. When a fire sprinkler system is required or proposed, the utility plan shall show the fire line connection point to water main. The Owner is responsible for the installation of the fire line and any associated costs.
- W7. Upon submittal into plan check with the building Division, the applicant shall provide landscape documentation as listed in the Model Landscape Ordinance Checklist per the City of Lompoc's Ordinance No. 1620(16). This documentation is required prior to Building Permit issuance.

WATER – NO PROJECT SPECIFIC CONDITIONS

XII. POLICE – GENERAL CONDITIONS

- PD1. A list of contact information for responsible persons should be provided (listed in the rank of whom to call first, etc.).
- PD2. Hours of construction operations should be clearly listed for the proposals.
- PD3. Surveillance cameras should be installed to cover construction equipment, and storage of lumber, and tools.
- PD4. If security is on-site, their contact information should be provided.
- PD5. All emergency and responsible contact information should be made available to the Lompoc Police Department Dispatch Center.
- PD6. If the construction area is gated or fenced, gate access codes or lock access will be made available to the Lompoc Police Department.

POLICE – NO PROJECT SPECIFIC CONDITIONS

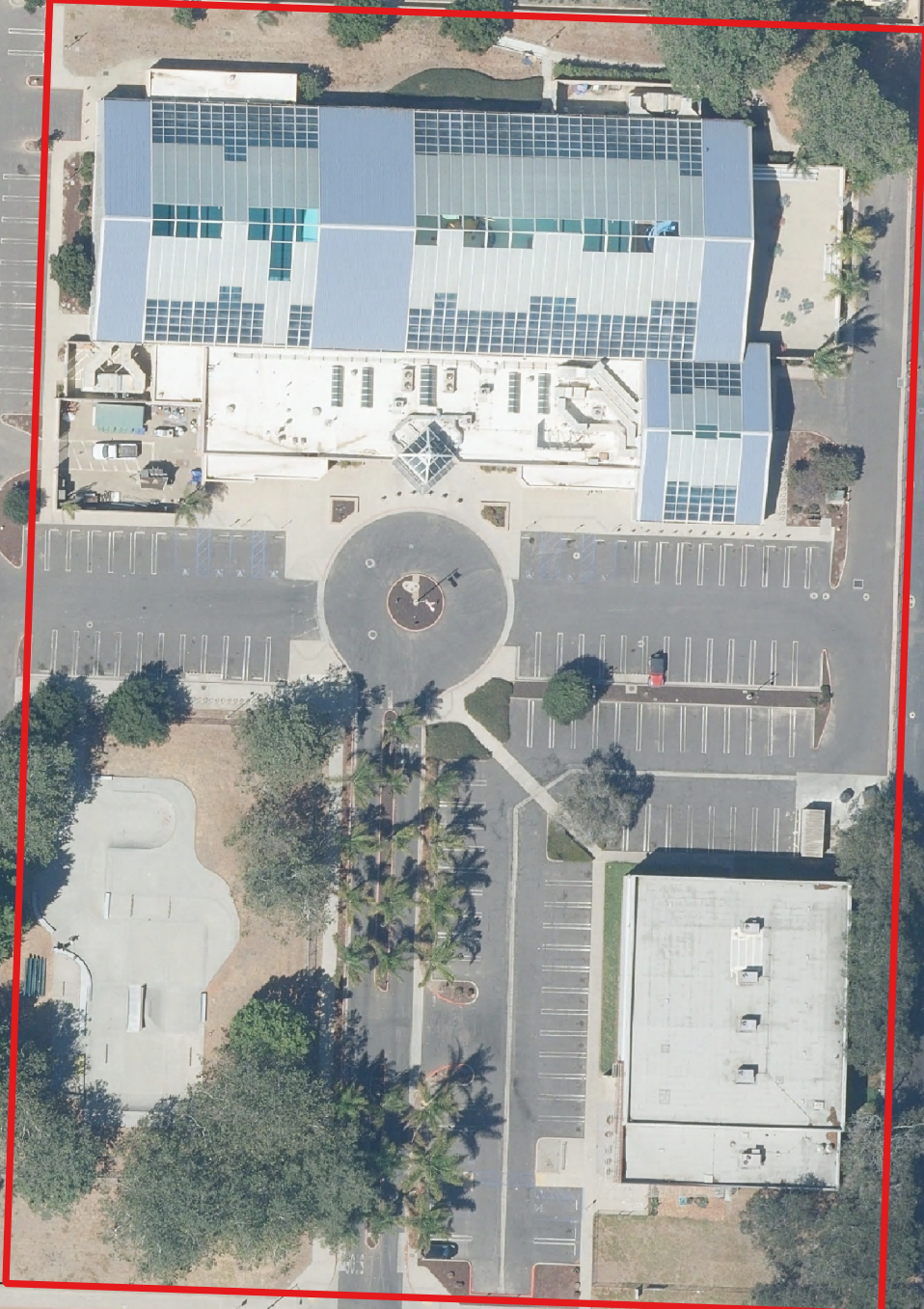
I do hereby declare under penalty of perjury that I accept all conditions imposed by the Planning Commission in their approval of the project. As the project owner/applicant, I agree to comply with these conditions and all other applicable laws and regulations at all times.

Dean Albro, Lompoc City Manager
Property Owner

Date

Mario Guerrero
City of Lompoc Recreation Manager

Date



COLLEGE

Legend

-  Streets
-  Project Site



0' 10' 20' 30'

August 21, 2023

- 1 8' MURAL WIND WALL
 - 2 PICNIC AREA W/ SHADE STRUCTURES
 - 3 PLAYGROUND W/ INTEGRATED SHADE
 - 4 SKATE PARK W/ LIGHTS
 - 5 RESTROOM
 - 6 DRINKING FOUNTAIN
 - 7 (2) HALF BASKETBALL COURTS W/ LIGHTS
 - 8 PARK SIGN
 - 9 3' TUBULAR STEEL FENCE
 - 10 SKATE PARK FENCE
 - 11 ENTRY
 - 12 CONCRETE PING PONG TABLES
 - 13 CONCRETE CORN HOLE
 - 14 CONCRETE GAME TABLES
 - 15 SHADE STRUCTURES
- NEW RUBBER SURFACING
 - NEW LOW WATER USE SHRUBS
 - NEW CONCRETE PAVING



Concept Plan

COLLEGE PARK



CONSULTANTS
 CIVIL ENGINEERING GROUP
 1000 WEST 10TH STREET, SUITE 100
 LOS ANGELES, CALIFORNIA 90015
 TEL: 213.481.1111 FAX: 213.481.1112
 ARCHITECTS
 PHILLIPS METSCH SWEENEY MOORE
 2030 ALAMANDA DRIVE, SUITE 200
 LOS ANGELES, CALIFORNIA 90024
 TEL: 800.953.9552 FAX: 800.244.8882

AGENCY APPROVAL

STATE OF CALIFORNIA
 COUNTY OF LOS ANGELES
 CITY OF LOS ANGELES
 DEPARTMENT OF PUBLIC WORKS
 DIVISION OF PERMITS
 120 SOUTH WASHINGTON STREET
 LOS ANGELES, CALIFORNIA 90033
 TEL: 213.473.1500 FAX: 213.473.1501

PROJECT TITLE
**Aquatic Center
POOLS,
BATH HOUSE
AND SITEWORK**

CITY PROJECT NO. 71-05-P-9
 JOB NUMBER C0034/03

SHEET # OF #

A1.1

DATE: JUNE 27, 2004

DESIGNED BY: JES 1/01
 DRAWN BY: JES 1/01

DATE: JUNE 27, 2004

NUMBERED NOTES

1. NEW CONC WALK, SEE C-3
2. NEW AC PAVING, SEE C-3 BID PACKAGE #1-BASE MD
3. NEW CONCRETE PAD FOR TRANSDUCER, SEE B-2/1
4. NEW PRECAST CONC BOLLARD W/OUT
5. NEW 8" HIGH STEEL PIPE BOLLARD
6. NEW FLAGPOLE AND BASE FOUNDATION W/ 1 CA FLAG
7. NEW CONCRETE CURB, SEE C-3
8. PRECISION CUT CHU BALL W/ ANTI-GRABBIT SEALANT
9. INTERIOR COLOR CHU PLANTER/BENCH
10. CENTRINE OF DOUBLE STEREO PARKING SPACE PER CITY STANDARD Dwg 603, SEE
11. ACCESSIBLE PARKING, REFER TO
12. 2" WIDE PAINTED STRIPE, RED
13. REBEL AND RESTORE EXISTING PARKING LOT AFTER
14. NEW DOUBLE BIN TRASH ENCLOSURE
15. NEW CONCRETE APRON, SEE SHEET C-3
16. 2" WIDE ORNAMENTAL GATE
17. 1/2" ASPHALT
18. 1/2" ASPHALT
19. 1/2" ASPHALT
20. PRECAST CONC SHELF/ST
21. NEW CONCRETE CURB RAMP
22. NEW CONCRETE BORBALK RAMP
23. NEW GATE
24. ROUND GATE FOR A 12" WIDE OPENING
25. PLANTER
26. PUSH JON NEW CONCRETE BALK TO EXISTING, SEE CIVIL SHEETS C3 I C4
27. METAL PICKET FENCE W/CHN PERS
28. UPROUGHT IRON FENCE
29. NEW CHAIN LINK GATE PROVIDE 1/2" X 1/2" X 1/2" GALV. STEEL RAY BARNET FOR SET
30. STORAGE ATTACH TO GATE FOR STORAGE W/ 10 VOR BOTH GATES
31. NEW BUILDING GATE CITY 1 SCHOOL TO HAVE EQUAL CONTROL
32. OF ACCESS TO EITHER PARKING LOT
33. (B) TRUCK STORAGE UNIT
34. FIVE TRUCK WATERHEAD TURNAROUND
35. AQUAFLY UNIT, BID PACKAGE #2
36. LINE OF EXISTING COMMERCIAL BUILDINGS
37. EXISTING ALLEY AND COMMERCIAL SERVICE AREA
38. EXISTING ALLEY FIRE HYDRANT TO RETAIN
39. EXISTING PUBLIC UTILITY EMBANKMENT
40. NEW BICYCLE PARKING, 4 RACKS - 10 SPACES, BINE RACK PER
41. EXISTING TO HIGH CHAIN LINK FENCE TO BE REMOVED TO ALLOW
42. WITHIN THE PLANTER SET FORCH & PAID SECTION QUADRANT
43. NEW BICYCLE PARKING, 8 RACKS - 10 SPACES, BINE RACK PER
44. EXISTING TREE TO REMAIN AND TO BE PROTECTED
45. NEW PRECAST CONC BOLLARD W/OUT LIGHT
46. STOP SIGN
47. COORDINATE LOCATION W/ IRRIGATION LI
48. ACCESS RAMP, SEE CIVIL
49. POOL DECK AND DECK DRAINAGE FOR DP-1 BID PACKAGE #2
50. DOUBLE CHECK VALVE, SEE CIVIL C-3
51. ACCESSIBLE PARKING SIGN
52. NOT USED
53. PAINTED WHITE STRIPES
54. ACCESSIBLE ENTRANCE SIGN
55. 88" MAX SLOPE DOWN TO AC PAVING
56. LINE OF ELECTRICAL ROOM IN BID PACKAGE #2, FUEL CELL ALTERNATE #
57. PARKING LOT LIGHTING, SEE B2/1
58. NEW CHU BALL W/ ANTI-GRABBIT SEALANT ON OUTSIDE FACE
59. AND BALL GATE

LEGEND

NEW AC PAVING, SEE C-3

GENERAL NOTES

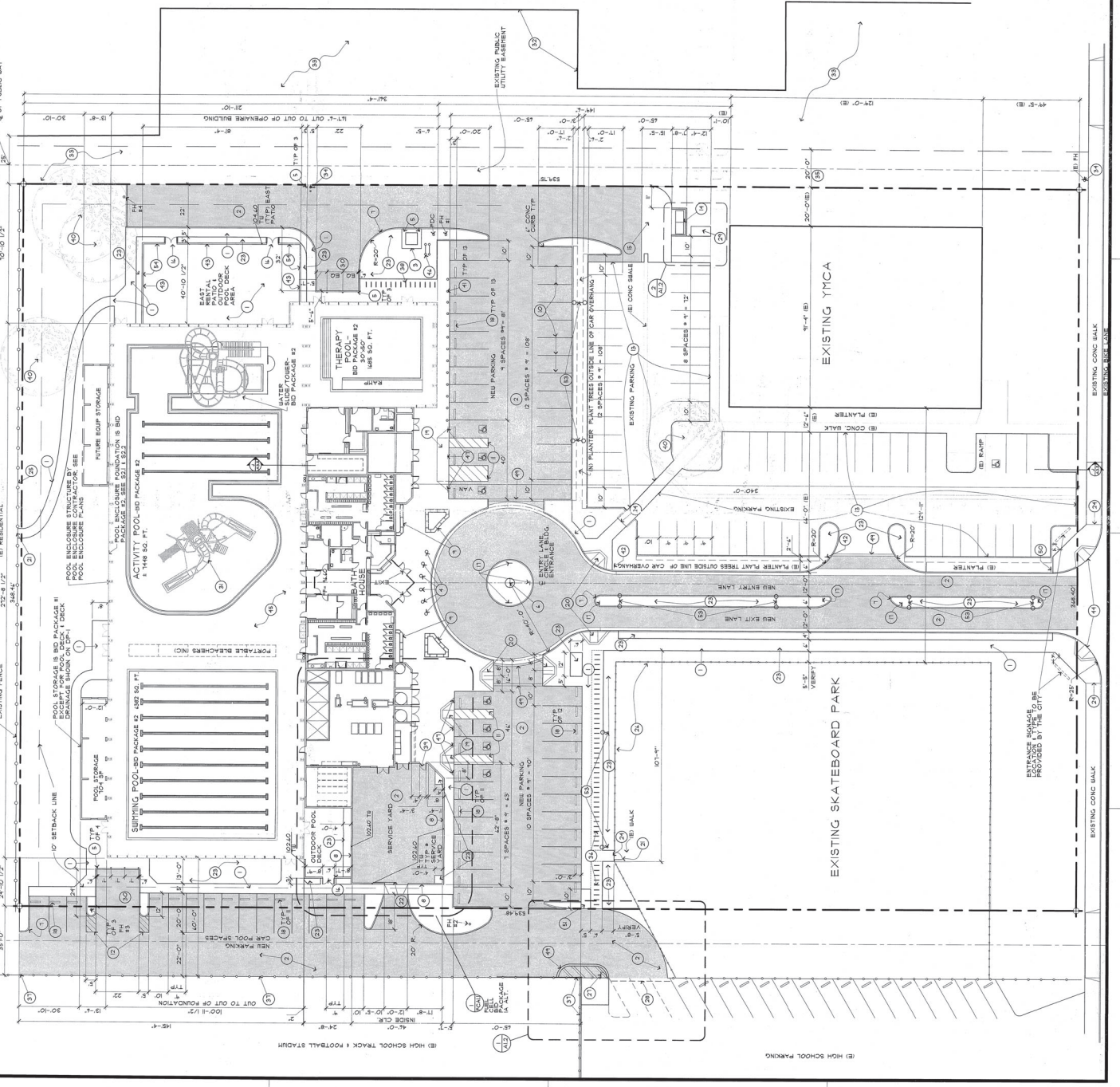
1. SEE SHEET C-3 FOR COMPLETE SITE PLAN FOR PEDESTRIAN PATH OF TRAVEL
2. SEE SHEET C-3 FOR EXISTING LOT/OUT INFORMATION
3. ALL NEW PARKING PER THE CITY OF LOS ANGELES PARKING LOT REQUIREMENTS
4. SEE SHEET A-1 FOR SITE PAVING LI/OUT INFORMATION
5. SEE SHEET A-1 FOR LOCATIONS OF RED PAINTED CURB SECTIONS

SITE PLAN

NORTH

SCALE: 1" = 20'-0"

0 20 40 FEET



CITY OF LOMPOC COLLEGE PARK PARK IMPROVEMENT PLANS

GENERAL NOTES:

1. PRIOR TO COMMENSAL WORK, CONTRACTOR SHALL VERIFY ALL PROPERTY LINES, EASEMENTS, RIGHT-OF-WAYS, SET BACKS, AND OTHER LEGAL PROPERTY RESTRICTIONS EITHER MARKED OR UNMARKED. NO CONSTRUCTION ITEMS, CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO START OF CONSTRUCTION. SHOULD THERE BE ANY DISCREPANCY, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY. THE ARCHITECT'S PRECEDENCE OVER SCALE, ALL REVISIONS OR DEVIATIONS FROM THE PLANS SHALL BE APPROVED BY LANDSCAPE ARCHITECT IN WRITING PRIOR TO IMPLEMENTATION OF SUCH ITEMS OF WORK.
2. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES AND AGENCIES INVOLVED IN THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES AND AGENCIES INVOLVED IN THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES AND AGENCIES INVOLVED IN THE PROJECT.
3. CONTRACTOR SHALL CAREFULLY REVIEW IN DETAIL THE CONTENTS OF THESE CONSTRUCTION DOCUMENTS. NO PART OF THESE CONSTRUCTION DOCUMENTS AND ALL APPLICABLE GOVERNING CODES AND ORDINANCES, INCLUDING CODES AND ORDINANCES, SHALL BE USED TO DETERMINE EXISTING CONDITIONS, IMPROVEMENTS UPON ADJACENT PUBLIC AND PRIVATE PROPERTY, AND OTHER FACTORS THAT MAY AFFECT THE WORK.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES AND AGENCIES INVOLVED IN THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES AND AGENCIES INVOLVED IN THE PROJECT.
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TRAFFIC CONTROL NOTE:

IF REQUIRED, THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN FOR APPROVAL WITH THE CITY, AND OBTAIN A CITY PERMIT, 1 WEEK PRIOR TO THE START OF CONSTRUCTION OF AREA.



CONTACTS:

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RIVERSIDE, CA 92506
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DOUG GROVE

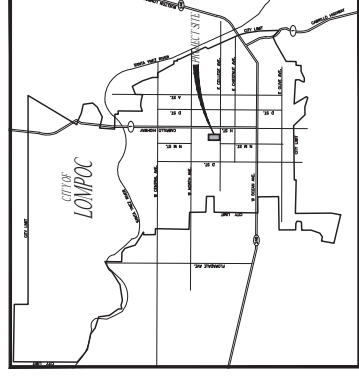
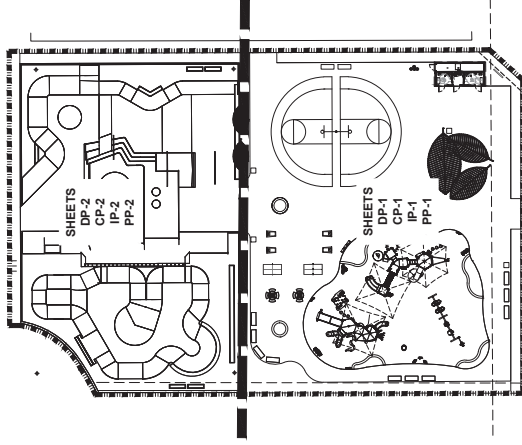
CLIENT ENGINEER:
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8431 HAVEN AVENUE, SUITE 232
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dbeckwith@daa-inc.com
DAVID BECKWITH

CITY OF LOMPOC
COMMUNITY DEVELOPMENT
100 CIVIC CENTER PLAZA
LOMPOC, CA 93438
805-875-8241

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SK-4	SKATE PARK PERSPECTIVE	4 OF 15
SK-5	SKATE PARK PERSPECTIVE	5 OF 15
SK-6	SKATE PARK PERSPECTIVE	6 OF 15
SK-7	SKATE PARK PERSPECTIVE	7 OF 15
SK-8	SKATE PARK PERSPECTIVE	8 OF 15
SK-9	SKATE PARK PERSPECTIVE	9 OF 15
SK-10	SKATE PARK PERSPECTIVE	10 OF 15
SK-11	SKATE PARK PERSPECTIVE	11 OF 15
SK-12	SKATE PARK PERSPECTIVE	12 OF 15
SK-13	SKATE PARK PERSPECTIVE	13 OF 15
SK-14	SKATE PARK PERSPECTIVE	14 OF 15
SK-15	SKATE PARK PERSPECTIVE	15 OF 15
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CG-2	PRECISE GRADING PLANS	2 OF 6
CG-3	PRECISE GRADING PLANS	3 OF 6
CG-4	PRECISE GRADING PLANS	4 OF 6
CG-5	PRECISE GRADING PLANS	5 OF 6
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EL-1	ELECTRICAL PLANS	1 OF 7
EL-2	ELECTRICAL PLANS	2 OF 7
EL-3	ELECTRICAL PLANS	3 OF 7
EL-4	ELECTRICAL PLANS	4 OF 7
EL-5	ELECTRICAL PLANS	5 OF 7
EL-6	ELECTRICAL PLANS	6 OF 7
EL-7	ELECTRICAL PLANS	7 OF 7

SHEET MAP:



RECEIVED
Planning Division
City of Lompoc
September 01, 2023

REVISIONS	DATE	BY



SHEET TITLE
DEMOLITION PLAN

DESIGNED	ED
DRAWN	ED
CHECKED	AL/AT
DATE	07/19/2023
SCALE	PER PLAN
JOB NO.	23123

SHEET
DP-1
2 OF 16 SHEETS

DEMOLITION ITEMS

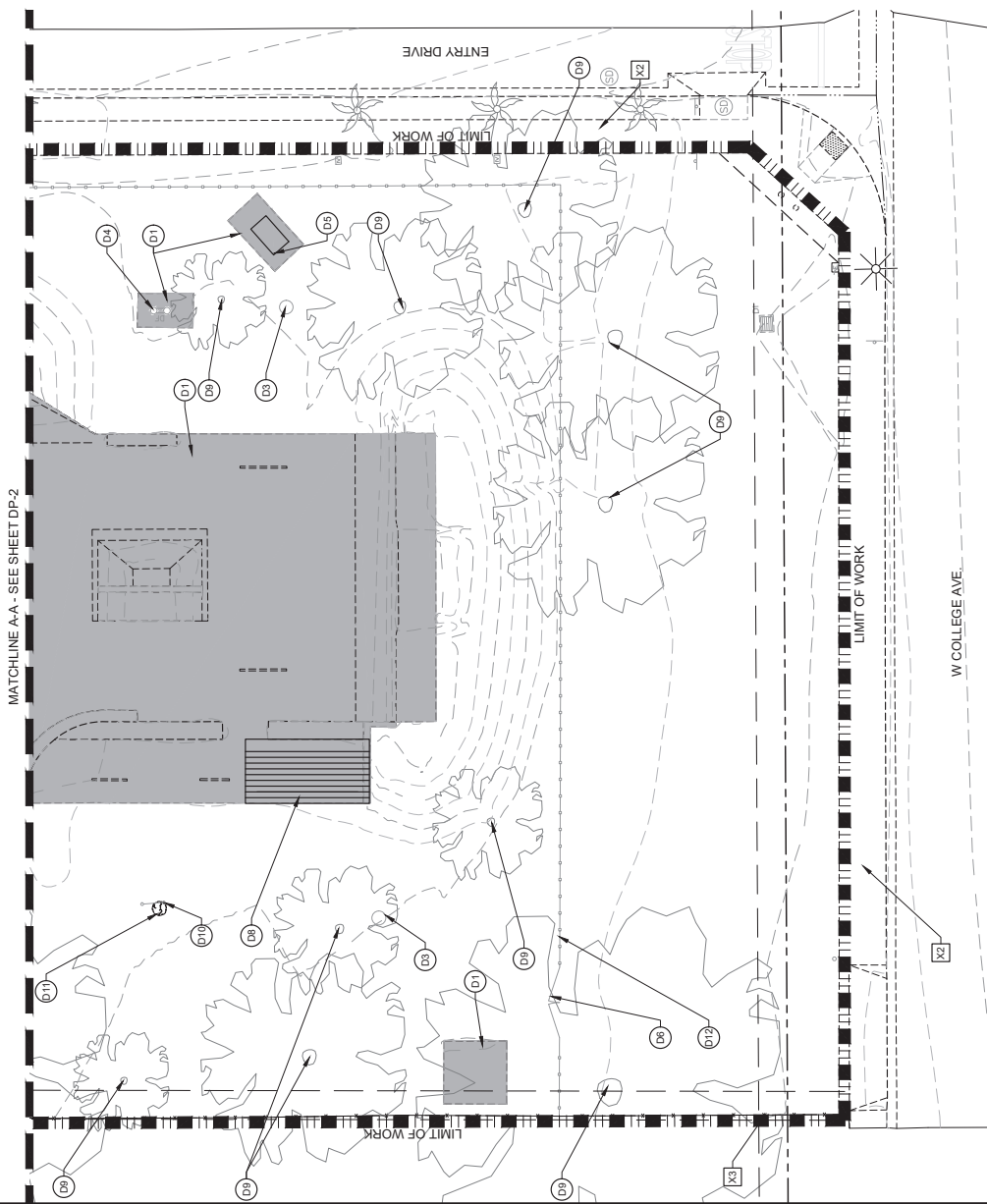
STATUS	SYM.	QTY.	DESCRIPTION	SYM.
BASE BID	(D1)	8492 SF	REMOVE EXISTING CONCRETE PAVING	
BASE BID	(D2)	2 EA	REMOVE EXISTING BICYCLE RACKS	
BASE BID	(D3)	4 EA	REMOVE EXISTING TRASH RECEPTACLE	
BASE BID	(D4)	1 EA	REMOVE EXISTING WATER FOUNTAIN	
BASE BID	(D5)	1 EA	REMOVE EXISTING TABLE	
BASE BID	(D6)	1 EA	REMOVE EXISTING GATE	
BASE BID	(D7)	2 EA	REMOVE EXISTING LIGHT POST AND FOOTING	
BASE BID	(D8)	1 EA	REMOVE EXISTING BLEACHERS	
BASE BID	(D9)	18 EA	REMOVE EXISTING TREE	
BASE BID	(D10)	1 EA	REMOVE EXISTING SIGN POST	
BASE BID	(D11)	1 EA	REMOVE EXISTING SHRUB	
BASE BID	(D12)	1 EA	REMOVE EXISTING STEEL ENCLOSURE FENCE	
BASE BID	(D13)	1 EA	REMOVE EXISTING PARK SIGN	

EXISTING ITEMS TO REMAIN

STATUS	SYM.	QTY.	DESCRIPTION	SYM.
BASE BID	(X1)	LS	EXISTING LIGHT STANDARD TO REMAIN PROTECT IN PLACE	
BASE BID	(X2)	LS	EXISTING CONCRETE TO REMAIN PROTECT IN PLACE	
BASE BID	(X3)	LS	EXISTING FENCE TO REMAIN PROTECT IN PLACE	
BASE BID	(X4)	LS	EXISTING BICYCLE RACK TO REMAIN PROTECT IN PLACE	
BASE BID	(X5)	LS	EXISTING SELF SERVICE BICYCLE REPAIR STATION PROTECT IN PLACE	

EXISTING ITEMS TO RELOCATE

STATUS	SYM.	QTY.	DESCRIPTION	SYM.
BASE BID	(R1)	LS	EXISTING BICYCLE RACK TO RELOCATE. REFER TO CONSTRUCTION PLAN FOR PROPOSED LOCATION	

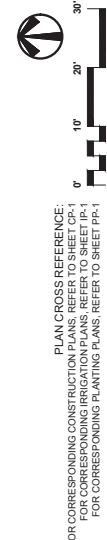


MATCHLINE A-A - SEE SHEET DP-2

TREE & TURF NOTE
1. CONFIRM TREE REMOVAL WITH CITY STAFF PRIOR TO REMOVING ANY TREES.

IRRIGATION NOTE
1. ALL IRRIGATION SPRINKLERS, VALVES AND PIPES WITHIN THE PARK PROJECT SHALL BE TURNED OVER TO THE CITY IN WORKING ORDER.
2. EXISTING IRRIGATION OUTSIDE OF DEMO AREA SHALL BE PROTECTED IN PLACE AND MAINTAINED THROUGHOUT CONSTRUCTION. IRRIGATION EQUIPMENT DUE TO CONSTRUCTION SHALL BE REPLACED AT NO ADDITIONAL COST TO THE CITY.
3. IRRIGATION OF BACKSLOPES IS TO BE MAINTAINED IN PLACE TO THE EXTENT POSSIBLE.
4. THE EXISTING IRRIGATION CONTROLLER LOCATED INSIDE THE AQUATIC CENTER SHALL BE PROTECTED IN PLACE.
5. IRRIGATION SYSTEMS TO THE WEST SIDE OF DEMO AREA SHALL BE KEPT OPERATIONAL THROUGHOUT CONSTRUCTION.
6. TEMPORARY IRRIGATION MAY BE REQUIRED FOR THE EXISTING TREES THAT ARE TO BE REMOVED. IRRIGATION SHALL BE KEPT OPERATIONAL THROUGHOUT CONSTRUCTION.
7. TEMPORARY IRRIGATION MAY BE REQUIRED FOR THE EXISTING TREES THAT ARE TO BE RELOCATED. IRRIGATION SHALL BE KEPT OPERATIONAL THROUGHOUT CONSTRUCTION.

DEMOLITION NOTES
1. CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING ALL MATERIALS DESIGNATED ON PLAN AT NO ADDITIONAL COST TO THE CITY.
2. EXISTING UTILITY LINE LOCATIONS ARE NOT KNOWN. CONTRACTOR SHALL VERIFY LOCATIONS IN FIELD PRIOR TO DEMOLITION AND CONSTRUCTION WORK. CONTACT DIG ALERT AT 811 PRIOR TO BEGINNING ANY DEMOLITION WORK.
3. REMOVE AND LEGALLY DISPOSE OF ITEMS, EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, RECYCLED, OR RELOCATED. ALL DEMOLISHED MATERIALS SHALL BECOME THE CONTRACTOR'S PROPERTY AND SHALL BE REMOVED, RECYCLED, OR DISPOSED FROM PROJECT SITE IN AN APPROPRIATE AND LEGAL MANNER.
4. LEGALLY TRANSPORT AND DISPOSE OF MATERIALS TO A TRANSFER STATION OR DISPOSAL FACILITY THAT CAN LEGALLY ACCEPT THE MATERIALS FOR THE PURPOSE OF DISPOSAL.
5. CONTRACTOR SHALL PROTECT STORM WATER DRAINAGE FACILITIES FROM POLLUTION RESULTING FROM DEMOLITION ACTIVITIES FOR THE DURATION OF THE PROJECT.
6. CONTRACTOR SHALL PROTECT STORM WATER DRAINAGE FACILITIES FROM POLLUTION RESULTING FROM CONSTRUCTION ACTIVITIES FOR THE DURATION OF THE PROJECT.



PLAN CROSS REFERENCE:
FOR CORRESPONDING CONSTRUCTION DETAILS, REFER TO SHEET DP-1
FOR CORRESPONDING IRRIGATION PLANS, REFER TO SHEET DP-1
FOR CORRESPONDING PLANTING PLANS, REFER TO SHEET PP-1

REVISIONS	DATE	BY



SHEET TITLE
DEMOLITION PLAN

DESIGNED	ED
DRAWN	AD
CHECKED	AL/AT
DATE	07/19/2023
SCALE	PER PLAN
JOB NO.	23123

SHEET
DP-2
3 OF 16 SHEETS

DEMOLITION ITEMS

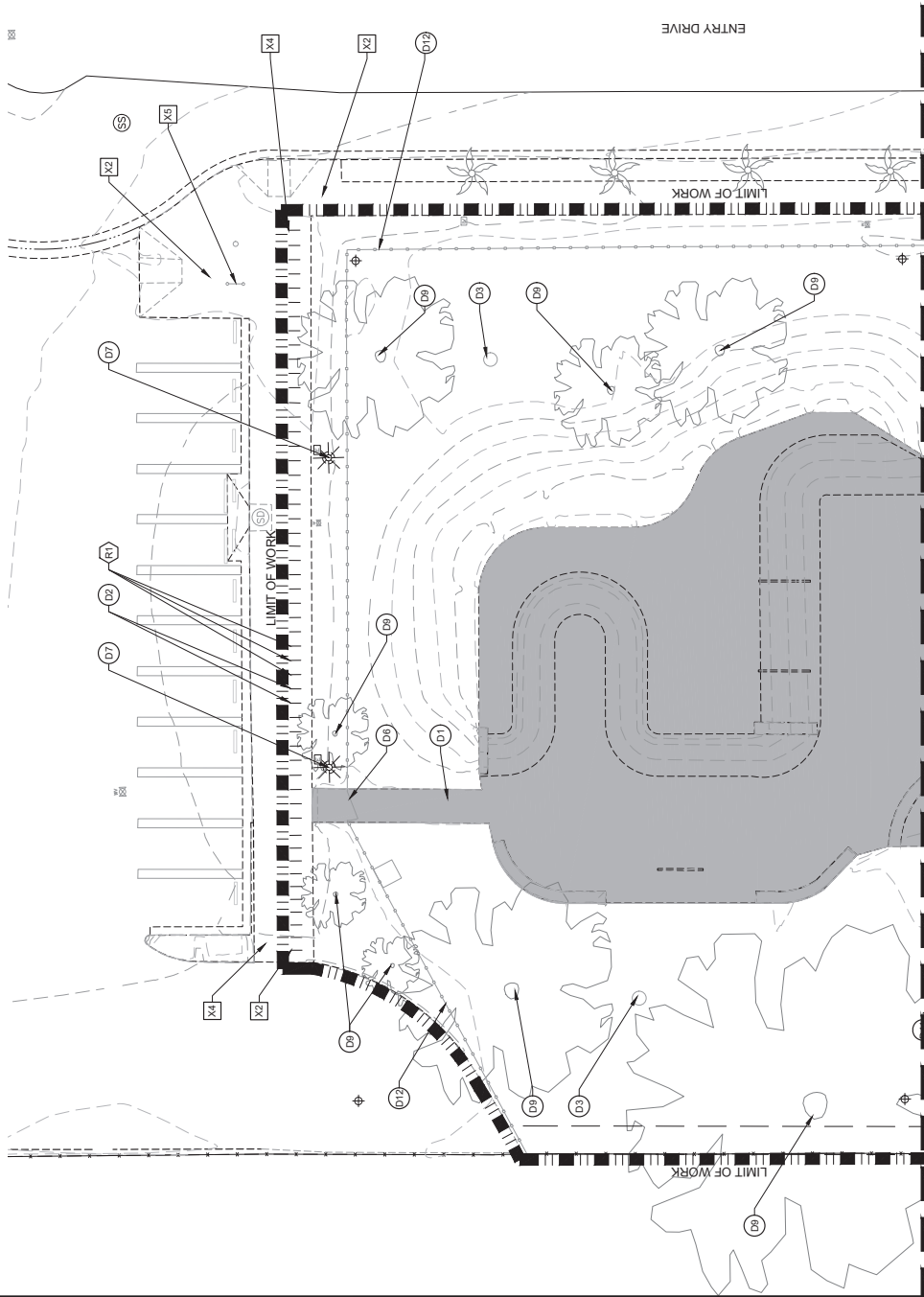
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BASE BID	D9	18 EA	REMOVE EXISTING TREE	
BASE BID	D10	1 EA	REMOVE EXISTING SIGN POST	
BASE BID	D11	1 EA	REMOVE EXISTING SHRUB	
BASE BID	D12	1 EA	REMOVE EXISTING STEEL ENCLOSURE FENCE	
BASE BID	D13	1 EA	REMOVE EXISTING PARK SIGN	

EXISTING ITEMS TO REMAIN

BID STATUS	SYM.	QTY.	DESCRIPTION	SYM.
BASE BID	X1	LS	EXISTING LIGHT STANDARD TO REMAIN PROTECT IN PLACE	
BASE BID	X2	LS	EXISTING FENCE TO REMAIN PROTECT IN PLACE	
BASE BID	X3	LS	EXISTING FENCE TO REMAIN PROTECT IN PLACE	
BASE BID	X4	LS	EXISTING BICYCLE RACK TO REMAIN PROTECT IN PLACE	
BASE BID	X5	LS	EXISTING SURVEY BICYCLE REPAIR STATION PROTECT IN PLACE	

EXISTING ITEMS TO RELOCATE

BID STATUS	SYM.	QTY.	DESCRIPTION	SYM.
BASE BID	R1	LS	EXISTING BICYCLE RACK TO RELOCATE. REFER TO CONSTRUCTION PLAN FOR PROPOSED LOCATION	



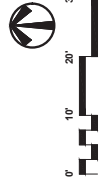
- DEMOLITION NOTES**
1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING MATERIAL IN ALL AREAS DESIGNATED ON PLAN AT NO ADDITIONAL COST TO THE CITY.
 2. EXISTING UTILITY LINE LOCATIONS ARE NOT KNOWN. CONTRACTOR SHALL VERIFY LOCATIONS IN FIELD PRIOR TO DEMOLITION AND CONSTRUCTION WORK. CONTACT DIG ALERT AT 811 PRIOR TO BEGINNING ANY DEMOLITION WORK.
 3. REMOVE AND LEGALLY DISPOSE OF ITEMS, EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED. ALL MATERIALS TO BE REUSED SHALL BE REUSED ON THE PROJECT. DEMOLISHED MATERIALS SHALL BECOME THE CONTRACTOR'S PROPERTY AND SHALL BE REMOVED, RECYCLED, OR DISPOSED FROM PROJECT SITE IN AN APPROPRIATE AND LEGAL MANNER.
 4. LEGALLY TRANSPORT AND DISPOSE OF MATERIALS TO A TRANSFER STATION OR DISPOSAL FACILITY THAT CAN LEGALLY ACCEPT THE MATERIALS FOR THE PURPOSE OF DISPOSAL.
 5. CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND STRUCTURES THAT ARE DESIGNATED TO REMAIN IN PLACE. IF DAMAGED DURING CONSTRUCTION CONTRACTOR SHALL REPLACE AT NO COST TO THE CITY.
 6. CONTRACTOR SHALL PROTECT STORM WATER DRAINAGE FACILITIES FROM POLLUTION RESULTING FROM CONTRACTOR'S ACTIVITIES FOR THE DURATION OF THE PROJECT.

- IRRIGATION NOTE**
1. ALL IRRIGATION SPRINKLERS, VALVES AND PIPES WITHIN THE PARK PROJECT SHALL BE TURNED OVER TO THE CITY IN WORKING ORDER.
 2. EXISTING IRRIGATION OUTSIDE OF DEMO AREA SHALL BE PROTECTED IN PLACE AND MAINTAINED THROUGHOUT CONSTRUCTION. EQUIPMENT DUE TO CONSTRUCTION SHALL BE REPLACED AT NO ADDITIONAL COST TO THE CITY.
 3. IRRIGATION OF BASKS AND RESERVOIRS TO BE PROTECTED IN PLACE.
 4. THE EXISTING IRRIGATION CONTROLLER LOCATED INSIDE THE AQUATIC CENTER SHALL BE PROTECTED IN PLACE.
 5. IRRIGATION SYSTEMS INSIDE OF DEMO AREA SHALL BE KEPT OPERATIONAL.
 6. TEMPORARY IRRIGATION MAY BE REQUIRED FOR THE EXISTING TREES THAT ARE TO BE MAINTAINED THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL BE MODIFIED AS NEEDED TO PROVIDE WATER TO THE TREE LOCATIONS DURING CONSTRUCTION.

- TREE & TURF NOTE**
1. CONFIRM TREE REMOVAL WITH CITY STAFF PRIOR TO REMOVING ANY TREES.



PLAN CROSS REFERENCE:
FOR CORRESPONDING CONSTRUCTION PLANS, REFER TO SHEET CP-2
FOR CORRESPONDING IRRIGATION PLANS, REFER TO SHEET IP-2
FOR CORRESPONDING PLANTING PLANS, REFER TO SHEET PP-2



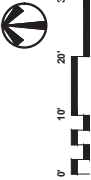
REVISIONS	DATE	BY



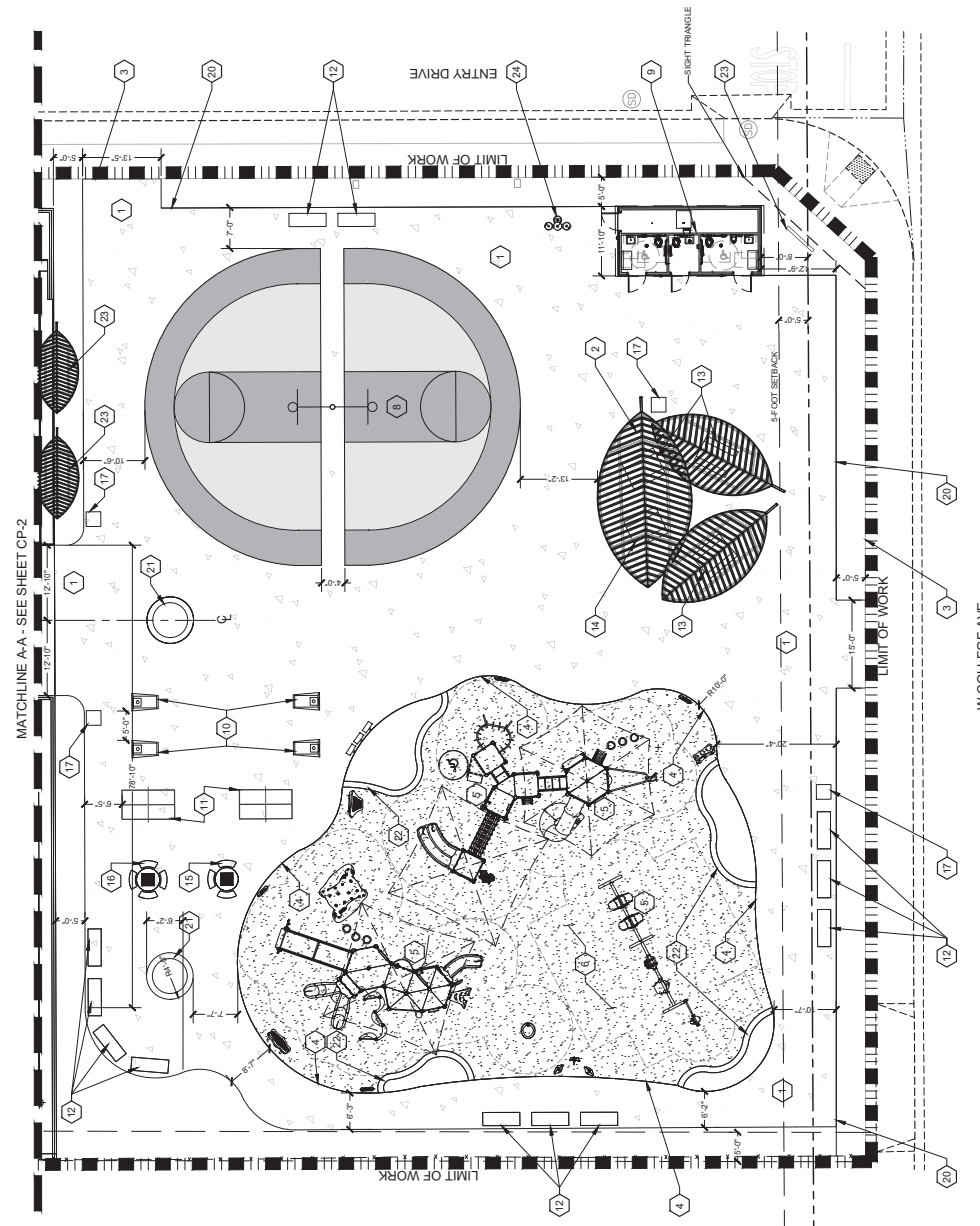
SHEET TITLE
CONSTRUCTION PLAN

DESIGNED	ED
DRAWN	ED
CHECKED	N/A/AT
DATE	07/18/2023
SCALE	PER PLAN
JOB NO.	23123

SHEET
CP-1
4 OF 16 SHEETS



REFER TO SHEET CP-3 FOR CONSTRUCTION LEGEND
PLAN CROSS REFERENCE
FOR CORRESPONDING DEMOLITION PLANS, REFER TO SHEET DP-1
FOR CORRESPONDING IRRIGATION PLANS, REFER TO SHEET IP-1
FOR CORRESPONDING PLANTING PLANS, REFER TO SHEET PP-1



- CONSTRUCTION NOTES**
1. ALL PLANTING PURPOSES ONLY. CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING MATERIAL IN ALL AREAS DESIGNATED ON PLAN.
 2. ALL PRODUCTS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATION.
 3. ALL PRODUCTS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATION FOR USE IN SURVIVING OF DEMOLITION AND IMPROVEMENTS.
 4. ALL AREAS DAMAGED OUTSIDE OF THE LIMIT OF WORK DURING CONSTRUCTION SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR, AT NO ADDITIONAL COST TO THE CITY.

DIGIART

DIAL
BEFORE
CALLING
811
A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT

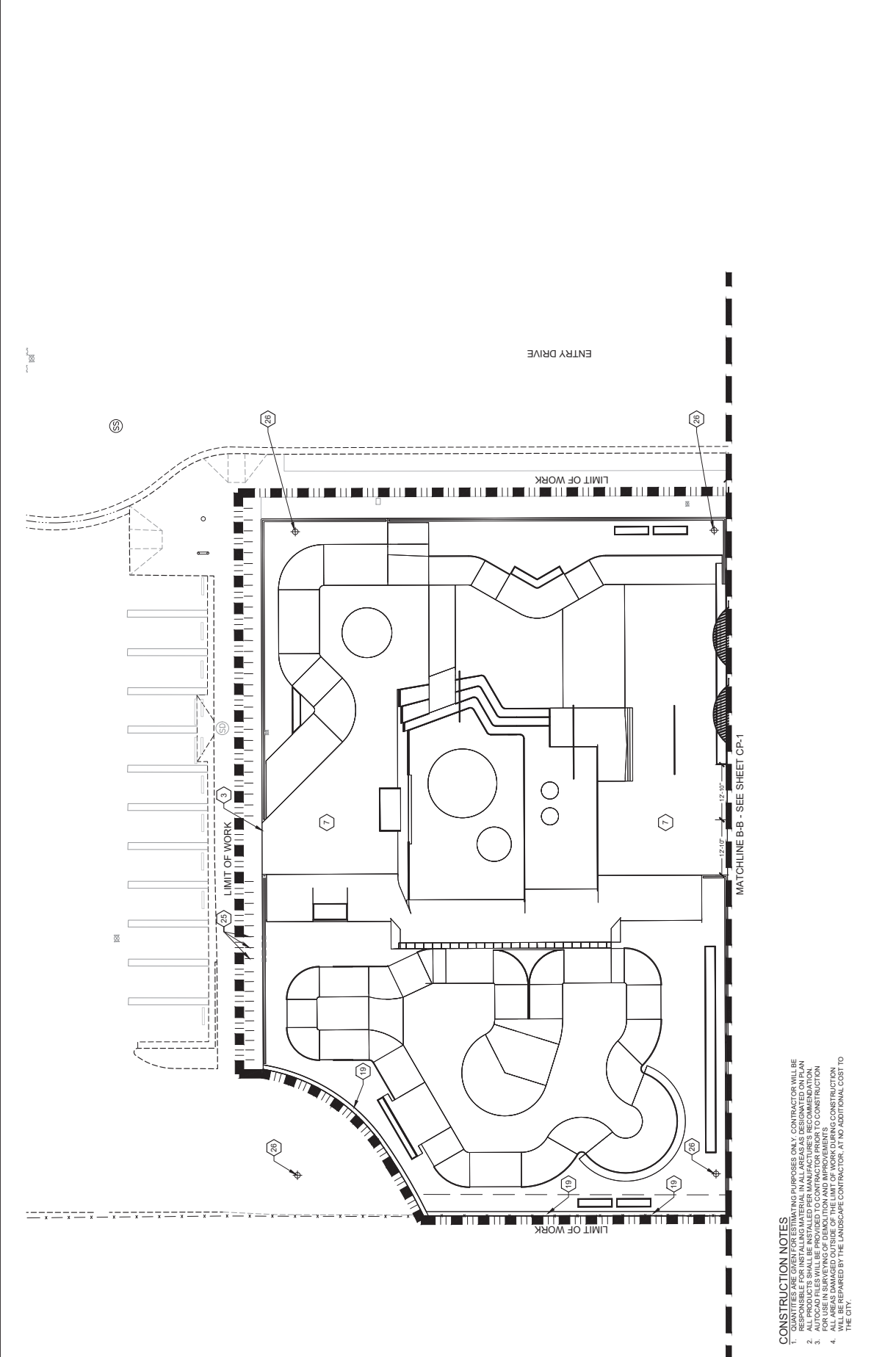
REVISIONS	DATE	BY



SHEET TITLE
CONSTRUCTION PLAN

DESIGNED	ED
DRAWN	ED
CHECKED	AL/AT
DATE	07/18/2023
SCALE	PER PLAN
JOB NO.	23123

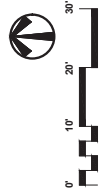
SHEET
CP-2
 5 OF 18 SHEETS



REFER TO SHEET CP-3 FOR CONSTRUCTION LEGEND
 PLAN CROSS REFERENCE
 FOR CORRESPONDING DEMOLITION PLANS, REFER TO SHEET DP-2
 FOR CORRESPONDING IRRIGATION PLANS, REFER TO SHEET IP-2
 FOR CORRESPONDING PLANTING PLANS, REFER TO SHEET PP-2

DIG AHEAD
 NO WORKING
 BEFORE
 TWO WEEKS
 ADVANCE
 CALL 811
 A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT

- CONSTRUCTION NOTES**
1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND UTILITIES BEFORE CONSTRUCTION.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND UTILITIES BEFORE CONSTRUCTION.
 3. ALL PRODUCTS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATION.
 4. ALL AREAS DAMAGED OUTSIDE OF THE LIMIT OF WORK DURING CONSTRUCTION SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR, AT NO ADDITIONAL COST TO THE CITY.



REVISIONS	DATE	BY



CONSTRUCTION LEGEND

DESIGNED	ED
DRAWN	ED
CHECKED	AL/AT
DATE	07/18/2023
SCALE	PER PLAN
JOB NO.	23123

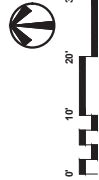
SHEET
CP-3
6 OF 16 SHEETS

CONSTRUCTION LEGEND

BID STATUS	SYMBOL	QTY.	DESCRIPTION	REMARKS/DETAIL
BASE BID	(1)	11950 SF	CONCRETE PAVING OVER SUBGRADE WITH 2" BASE, NATURAL GRAY COLOR, MEDIUM BROOM FINISH, JOINTS PER PROJECT SPECIFICATIONS	DETAIL 'X', SHEET CD-1
BASE BID	(2)	1EA	FURNISH & INSTALL OVERHEAD SHADE STRUCTURE - LEAF CONFIGURATION BY LOGO (ONE MODEL, LEAF WIDTH 10' W/ 4" MODEL, LEAF 12'5" MULTI-RIB ROOF, FRAME COLOR: SURREY BEIGE, ROOF COLOR: EVERGREEN	REFER TO MANUFACTURER DRAWINGS
BASE BID	(3)	LS	INSTALL PAVING TO JOIN FLUSH TO EXISTING CONCRETE PAVING	DETAIL 'B', SHEET CD-1
BASE BID	(4)	185 LF	CONSTRUCT CONCRETE PLAY AREA CURB	DETAIL 'C', SHEET CD-1
BASE BID	(5)	LS	FURNISH & INSTALL THEMED PLAY EQUIPMENT PER QUOTE NUMBER 821-1579989, CONTACT PLAY & PARK STRUCTURES 800-727-1907	DETAIL 'A', SHEET CD-2 PER MANUFACTURER
BASE BID	(6)	4,668 SF	FURNISH & INSTALL POURED-IN-PLACE RUBBER SURFACING OVER 6" AGGREGATE BASE, SPECTRAPOUR BY "SPECTRAURF", COLOR 50% DARK GREEN / 50% BRIGHT GREEN	DETAIL 'C', SHEET CD-1 PER MANUFACTURER
BASE BID	(7)	LS	FURNISH & INSTALL COLORED CONCRETE SKATE PARK AND PRECAST CONCRETE SKATE ELEMENTS BY SPOHN RANCH SKATEPARKS 666-326-5803	REFER TO SHEETS SK 0-0-0
BASE BID	(8)	2,280 SF	CONCRETE PAVING SHALL BE 8" THICK PCC PAVING, SURFACING, STRIPING AND GOALS	DETAIL 'G' & 'I', SHEET CD-1
BASE BID	(9)	LS	FURNISH & INSTALL CONCRETE TABLE BENCHES - MODEL 1630 WITH CUSTOM SET AND CITY LOGO. COLOR: MEDIUM GRAY WITH WHITE LINES; FINISH: SMOOTH WITH ANTI-GRAFFITI COATING. QUOTE # 08489 AVAILABLE THROUGH OUTDOOR CREATIONS (530) 365-6106 - TIM HUDSON, ALLOW 5 MONTH LEAD TIME.	DETAIL 'Y', SHEET CD-3 PER MANUFACTURER
BASE BID	(10)	2 EA	FURNISH & INSTALL CONCRETE CORN HOLE SET, MODEL 1510 WITH CUSTOM CITY LOGO ENGRAVING. COLOR: MEDIUM GRAY; FINISH: SMOOTH WITH ANTI-GRAFFITI COATING. QUOTE # 08489 AVAILABLE THROUGH OUTDOOR CREATIONS (530) 365-6106 - TIM HUDSON, ALLOW 5 MONTH LEAD TIME.	DETAIL 'C', SHEET CD-3 PER MANUFACTURER
BASE BID	(11)	2 EA	FURNISH & INSTALL CONCRETE TABLE BENCHES - MODEL 1630 WITH CUSTOM SET AND CITY LOGO. COLOR: MEDIUM GRAY WITH WHITE LINES; FINISH: SMOOTH WITH ANTI-GRAFFITI COATING. QUOTE # 08489 AVAILABLE THROUGH OUTDOOR CREATIONS (530) 365-6106 - TIM HUDSON, ALLOW 5 MONTH LEAD TIME.	DETAIL 'Y', SHEET CD-3 PER MANUFACTURER
BASE BID	(12)	12 EA	FURNISH & INSTALL CONCRETE TABLE BENCHES WITH ANTI-GRAFFITI COATING. QUOTE # 08489 AVAILABLE THROUGH OUTDOOR CREATIONS (530) 365-6106 - TIM HUDSON, ALLOW 5 MONTH LEAD TIME.	DETAIL 'Y', SHEET CD-3 PER MANUFACTURER
BASE BID	(13)	3 EA	FURNISH & INSTALL CONCRETE TABLE BENCHES WITH ANTI-GRAFFITI COATING. QUOTE # 08489 AVAILABLE THROUGH OUTDOOR CREATIONS (530) 365-6106 - TIM HUDSON, ALLOW 5 MONTH LEAD TIME.	DETAIL 'Y', SHEET CD-3 PER MANUFACTURER
BASE BID	(14)	1 EA	FURNISH & INSTALL 92" CONCRETE ADA PIVOT TABLE WITH ANTI-SKATE BUMPS - MODEL 1078-CGB WITH ANTI-SKATE BUMPS. QUOTE # 08489 AVAILABLE THROUGH OUTDOOR CREATIONS (530) 365-6106 - TIM HUDSON, ALLOW 5 MONTH LEAD TIME.	DETAIL 'D', SHEET CD-4 PER MANUFACTURER
BASE BID	(15)	1 EA	FURNISH & INSTALL ROUND CONCRETE PIVOT TABLE W/ WHEELCHAIR ENTRY W/ ANTI-SKATE BUMPS. QUOTE # 08489 AVAILABLE THROUGH OUTDOOR CREATIONS (530) 365-6106 - TIM HUDSON, ALLOW 5 MONTH LEAD TIME.	DETAIL 'B', SHEET CD-4 PER MANUFACTURER
BASE BID	(16)	1 EA	FURNISH & INSTALL ROUND CONCRETE PIVOT TABLE W/ GAMBARD - MODEL 1078-CGB WITH ANTI-SKATE BUMPS. QUOTE # 08489 AVAILABLE THROUGH OUTDOOR CREATIONS (530) 365-6106 - TIM HUDSON, ALLOW 5 MONTH LEAD TIME.	DETAIL 'X', SHEET CD-4 PER MANUFACTURER
BASE BID	(17)	4 EA	FURNISH & INSTALL CONCRETE SQUARE TRASH RECEPTACLE MODELS 17 WITH CITY LOGO. QUOTE # 08489 AVAILABLE THROUGH OUTDOOR CREATIONS (530) 365-6106 - TIM HUDSON, ALLOW 5 MONTH LEAD TIME.	DETAIL 'B', SHEET CD-5 PER MANUFACTURER
BASE BID	(18)	1 EA	MONUMENT SIGN	PROVIDED BY CITY AND INSTALLED BY ARTIST
BASE BID	(19)	124 LF	8" WIND WALL - MURAL ART PROVIDED BY CITY, CONTRACTOR SHALL COORDINATE INSTALLATION REFER TO ELECTRICAL ENGINEERS PLANS FOR LIGHTS.	DETAIL 'F', SHEET CD-1
BASE BID	(20)	225 LF	CONCRETE PLANTER WITH 4" DIA. STEEL FENCE. SUPPLY SHOP DRAWINGS FOR CITY APPROVAL PRIOR TO INSTALL.	DETAIL 'C', SHEET CD-5 PER MANUFACTURER
BASE BID	(21)	2 EA	FURNISH & INSTALL CUSTOM CONCRETE PLANTER SEATWALL 8" DIAMETER. COLOR: COCOA. FINISH: LIGHT SAND BLAST WITH ANTI-SKATE INDENTATIONS. QUOTE # 08489 AVAILABLE THROUGH OUTDOOR CREATIONS (530) 365-6106 - TIM HUDSON, ALLOW 5 MONTH LEAD TIME.	DETAIL 'E', SHEET CD-1
BASE BID	(22)	104 LF	POURED IN PLACE CONCRETE SEATWALL WITH LIGHT SAND BLAST FINISH AND INTEGRAL COLOR. COCOA (TO MATCH PLANTER WALLS); WITH ANTI-SKATE INDENTATIONS.	REFER TO MANUFACTURER DRAWINGS
BASE BID	(23)	2 EA	FURNISH & INSTALL OVERHEAD SHADE STRUCTURE - LEAF SHELTER BY POOLGON - MODEL LEF-SX41 MULTI-RIB ROOF, FRAME COLOR: SURREY BEIGE, ROOF COLOR: EVERGREEN	DETAIL 'X', SHEET CD-1
BASE BID	(24)	1 EA	FURNISH & INSTALL DRINKING FOUNTAIN BY MOST DEFENDABLE FOUNTAINS, INC. MODEL: 10146 5M WITH PET FOUNTAIN & BOTTLE FILLER. COLOR: GREEN. (M.D.F., INC. 901-987-0039)	SURFACE MOUNT PER MANUFACTURER
BASE BID	(25)	3 EA	EXISTING BICYCLE RACK RELOCATION	REFER TO ELECTRICAL DRAWINGS
BASE BID	(26)	4 EA	5W' H FACILITY LIGHT BY MUSCO LIGHTING	REFER TO ELECTRICAL DRAWINGS

CONSTRUCTION NOTES

- QUANTITIES ARE GIVEN FOR ESTIMATING PURPOSES ONLY. CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING QUANTITIES IN THE FIELD AND AS NECESSARY, ADJUSTING QUANTITIES TO MATCH THE FIELD CONDITIONS.
- AUTOCAD FILES WILL BE PROVIDED TO CONTRACTOR PRIOR TO CONSTRUCTION FOR USE IN MANAGING THE DESIGN AND CONSTRUCTION OF THE PROJECT.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF LOMPOC SPECIFICATIONS AND SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE CITY.



CALL BEFORE YOU DIG
A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT
811

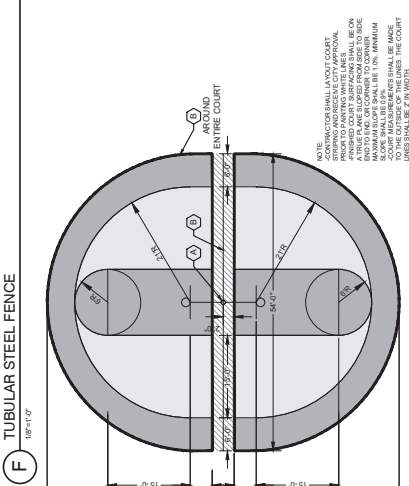
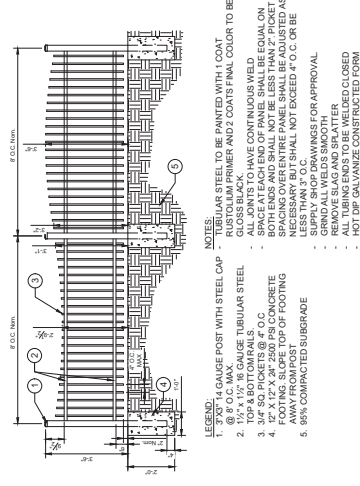
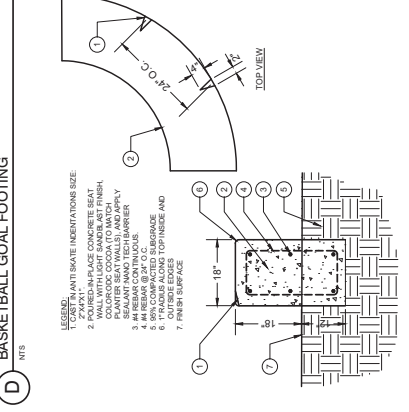
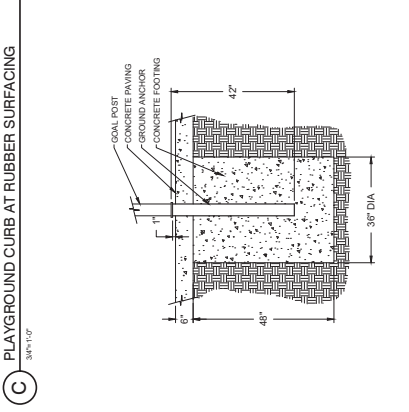
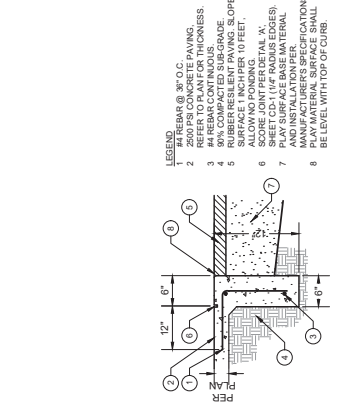
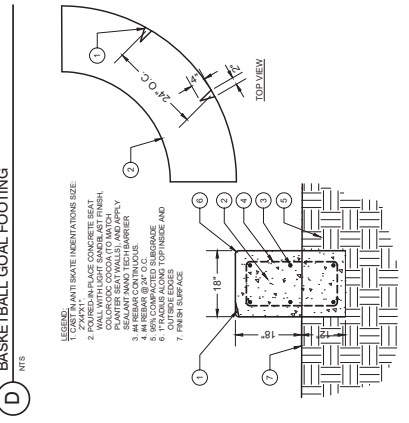
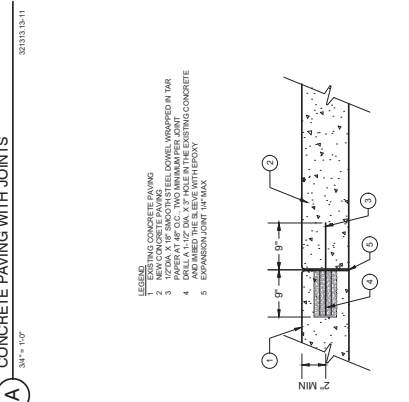
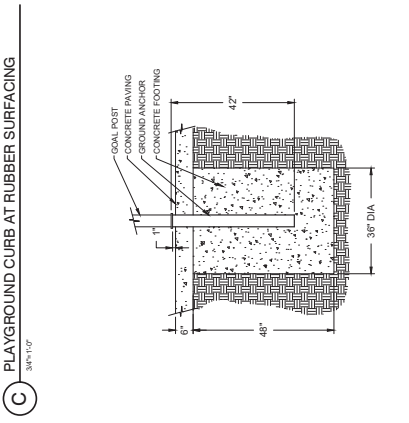
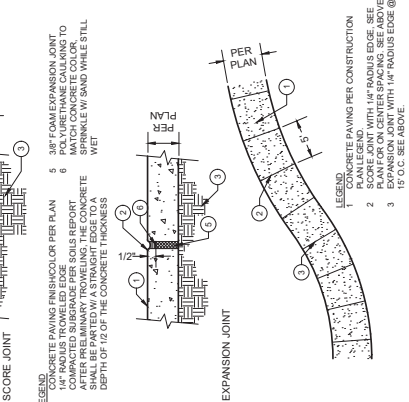
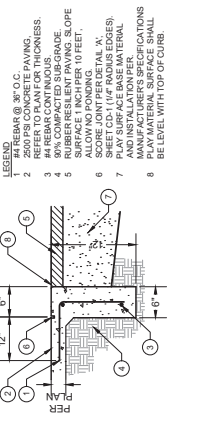
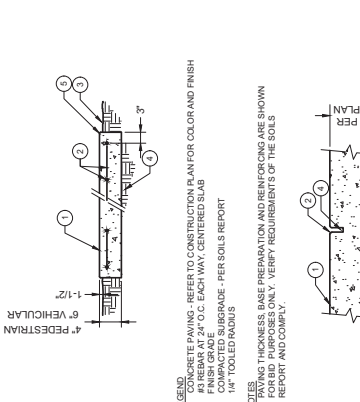
REVISIONS	DATE	BY



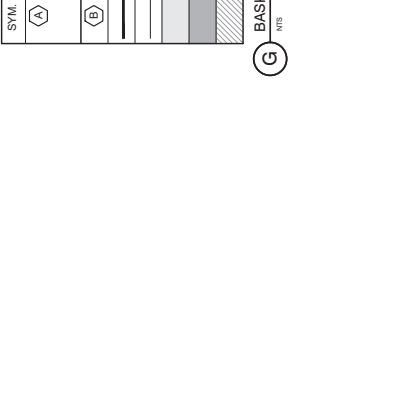
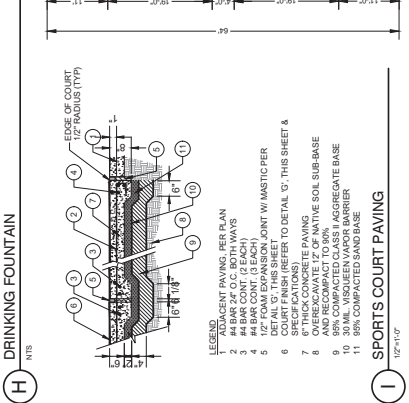
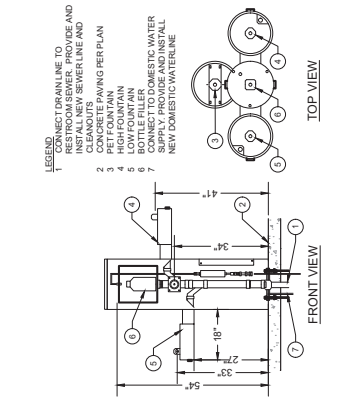
SHEET TITLE
CONSTRUCTION DETAILS

DESIGNED	ED
DRAWN	ED
CHECKED	AS/AT
DATE	PER PLAN
07/18/2023	
SCALE	JOB NO.
	23105

SHEET
CD-1
12 OF 16 SHEETS



SYM.	QTY.	DESCRIPTION	REMARKS/DETAIL	SUPPLIER
(A)	1	INSTALL BASKETBALL POST, RAS & NETS BY FASTECCORP (FORM OF O&E SET SHOULD BE FROM EDGE OF COURT)	PERMING SPECIFICATIONS	COAST RECREATION 949-563-8965
(B)	L.S.	EXPANSION JOINT	NA	NA
(C)	L.S.	CONTRINOULE 4" WIDE PLEXICOLOR WHITE LINE STRIPES	NA	NA
(D)	L.S.	CONTRINOULE 2" WIDE PLEXICOLOR WHITE LINE STRIPES	NA	NA
(E)	1,153 SF	COURT PAVING	DETAIL: THIS SHEET	PLEXPAVE.com
(F)	1,127 SF	COURT PAVING	DETAIL: THIS SHEET	PLEXPAVE.com
(G)	218 SF	NATURAL GRAY CONCRETE PAVING MEDIUM ROOM FINISH	DETAIL: THIS SHEET	NA



REVISIONS	DATE	BY



SHEET TITLE
CONSTRUCTION DETAILS

DESIGNED	ED
DRAWN	ED
CHECKED	AL/AT
DATE	07/18/2023
SCALE	PER PLAN
JOB NO.	23123

SHEET
CD-2
13 OF 18 SHEETS



COLLEGE PARK - OPTION 1
821-1579366
Lompoc, CA 93436

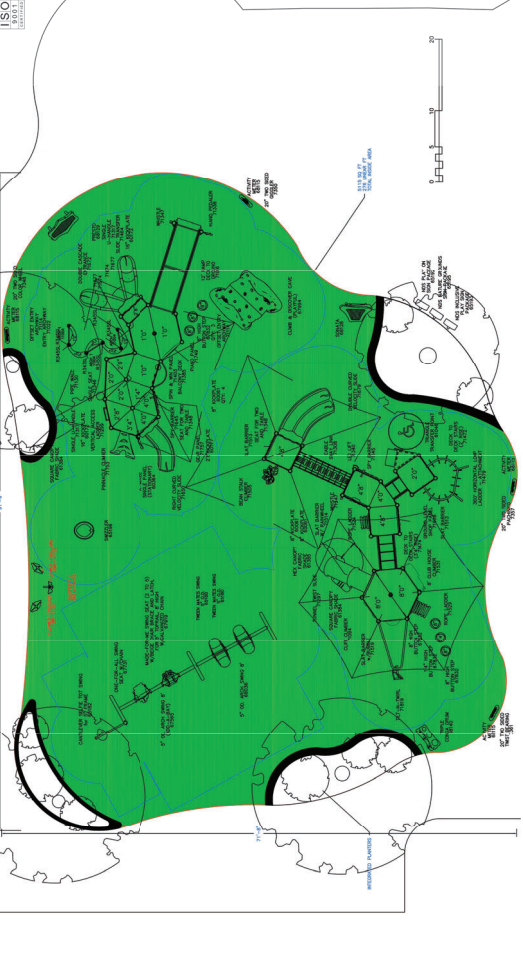
play&park structures
1300 W Laurel Ave
Lompoc, CA 93436
Play & Park Structures

DATE: 07/18/2023
JOB NO: 23123

PLEASE NOTE: DIMENSIONS ARE FOR VISUAL PURPOSES ONLY. ANY PRODUCTS AND/OR DETAIL DETAILS SHOWN ARE SUBJECT TO CHANGE WITHOUT NOTICE.

ISO 14001

play&park structures
1300 W Laurel Ave
Lompoc, CA 93436
821-1579366



PLEASE NOTE: DIMENSIONS ARE FOR VISUAL PURPOSES ONLY. ANY PRODUCTS AND/OR DETAIL DETAILS SHOWN ARE SUBJECT TO CHANGE WITHOUT NOTICE.

ISO 14001

play&park structures
1300 W Laurel Ave
Lompoc, CA 93436
821-1579366

A PLAY EQUIPMENT AND SURFACE
NTS

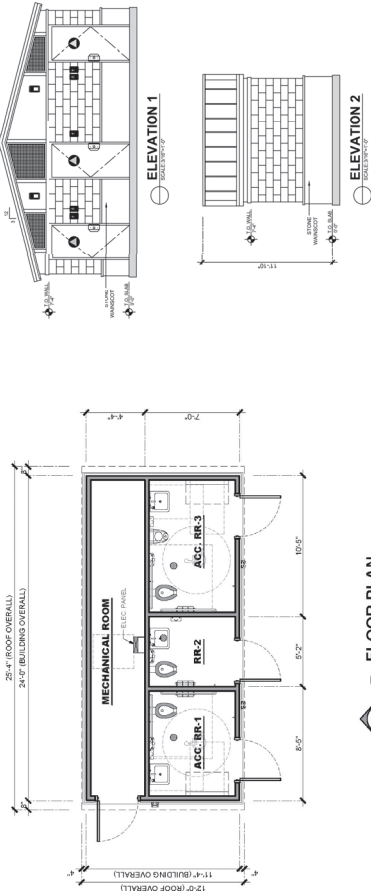
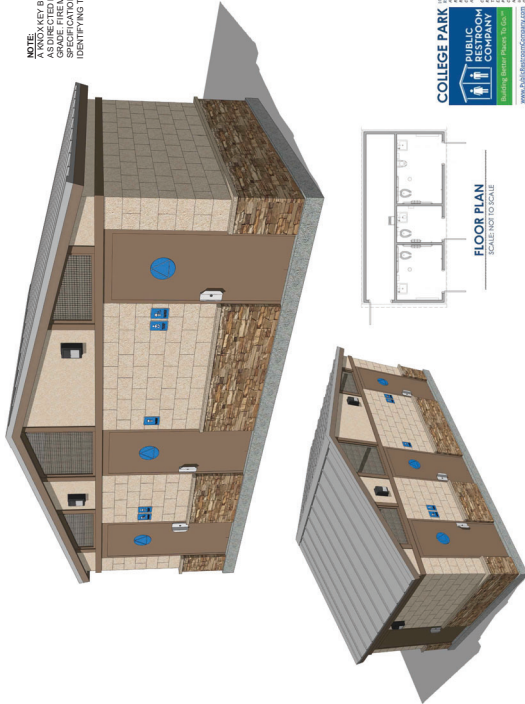


DIAL BEFORE YOU DIAL
CALL 911
A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT

PROJECT REF#: 11678-6/01/2023.9

PROJECT REF#: 11678-6/01/2023.0

NOTE:
A KNOCK KEY BOX TO BE INSTALLED ON RESTROOM BUILDING
GRADE FIRE MARSHAL TO APPROVE PLACEMENT AND
SPECIFICATIONS. THE KEYS SHALL HAVE TAGS AFFIXED
IDENTIFYING THEIR PURPOSE.



FLOOR PLAN
SCALE: 1/8" = 1'-0"

ELEVATION 1
SCALE: 1/8" = 1'-0"

ELEVATION 2
SCALE: 1/8" = 1'-0"

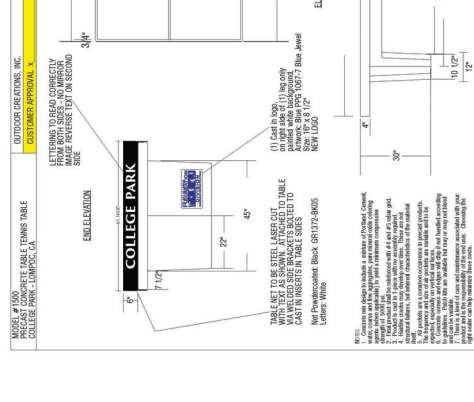
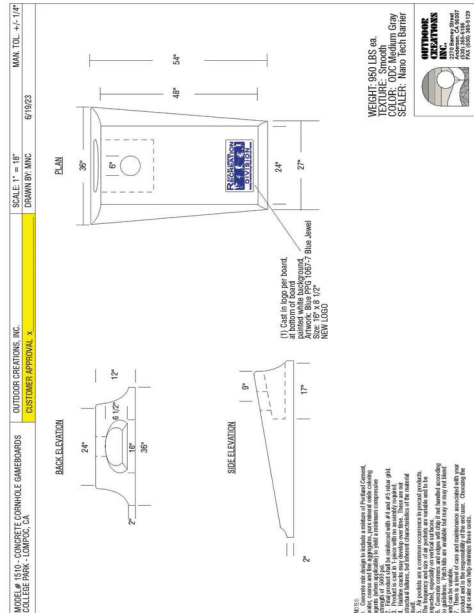
COLLEGE PARK
OUTDOOR CREATIONS, INC.
11678 COLLEGE PARK, LOMPOC, CA 93436
TEL: 805.762.1111
WWW.OUTDOORCREATIONS.COM

PUBLIC RESTROOM COMPANY
11678 COLLEGE PARK, LOMPOC, CA 93436
TEL: 805.762.1111
WWW.PUBLICRESTROOMCOMPANY.COM

DATE: 06/01/23	REVISION: 1	DATE: 06/01/23	REVISION: 2
DATE: 06/01/23	REVISION: 2	DATE: 06/01/23	REVISION: 3
DATE: 06/01/23	REVISION: 3	DATE: 06/01/23	REVISION: 4
DATE: 06/01/23	REVISION: 4	DATE: 06/01/23	REVISION: 5
DATE: 06/01/23	REVISION: 5	DATE: 06/01/23	REVISION: 6
DATE: 06/01/23	REVISION: 6	DATE: 06/01/23	REVISION: 7
DATE: 06/01/23	REVISION: 7	DATE: 06/01/23	REVISION: 8
DATE: 06/01/23	REVISION: 8	DATE: 06/01/23	REVISION: 9
DATE: 06/01/23	REVISION: 9	DATE: 06/01/23	REVISION: 10

(B) MULTIPURPOSE BUILDING
NTS

(A) CONCRETE TABLE TENNIS
NTS



(C) CONCRETE CORNHOLE SET
NTS

(A) CONCRETE TABLE TENNIS
NTS

DIG ALERT
CALL BEFORE YOU DIG
811
A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT

REA
ARCHITECTS
PLANNERS INC.
848 INDIAN AVE
RIVERSIDE, CALIFORNIA
92504
PH: 951.511.1100

City of Lompoc
Parks and Recreation
100 Civic Center Plaza
Lompoc, CA 93436

PARKS
DEPARTMENT

College Park Improvements
W College Ave & J Street
Lompoc, CA 93436

DATE: 06/01/23	REVISION: 1
DATE: 06/01/23	REVISION: 2
DATE: 06/01/23	REVISION: 3
DATE: 06/01/23	REVISION: 4
DATE: 06/01/23	REVISION: 5
DATE: 06/01/23	REVISION: 6
DATE: 06/01/23	REVISION: 7
DATE: 06/01/23	REVISION: 8
DATE: 06/01/23	REVISION: 9
DATE: 06/01/23	REVISION: 10



CONSTRUCTION DETAILS

DESIGNED: ED	ED
DRAWN: ED	NA/AT
CHECKED: NA/AT	
DATE: 07/18/2023	
SCALE: PER PLAN	
JOB NO.: 23123	

CD-3
SHEET
14 OF 18 SHEETS

648 INDIANA AVE
 SUITE 100
 RIVERSIDE, CALIFORNIA
 92507
 PH: 951.714.1800

City of Lompoc
 Parks and Recreation
 100 Civic Center Plaza
 Lompoc, CA 93436



PROJECT:
 College Park Improvements
 W College Ave & J Street
 Lompoc, CA 93436

REVISIONS	DATE	BY

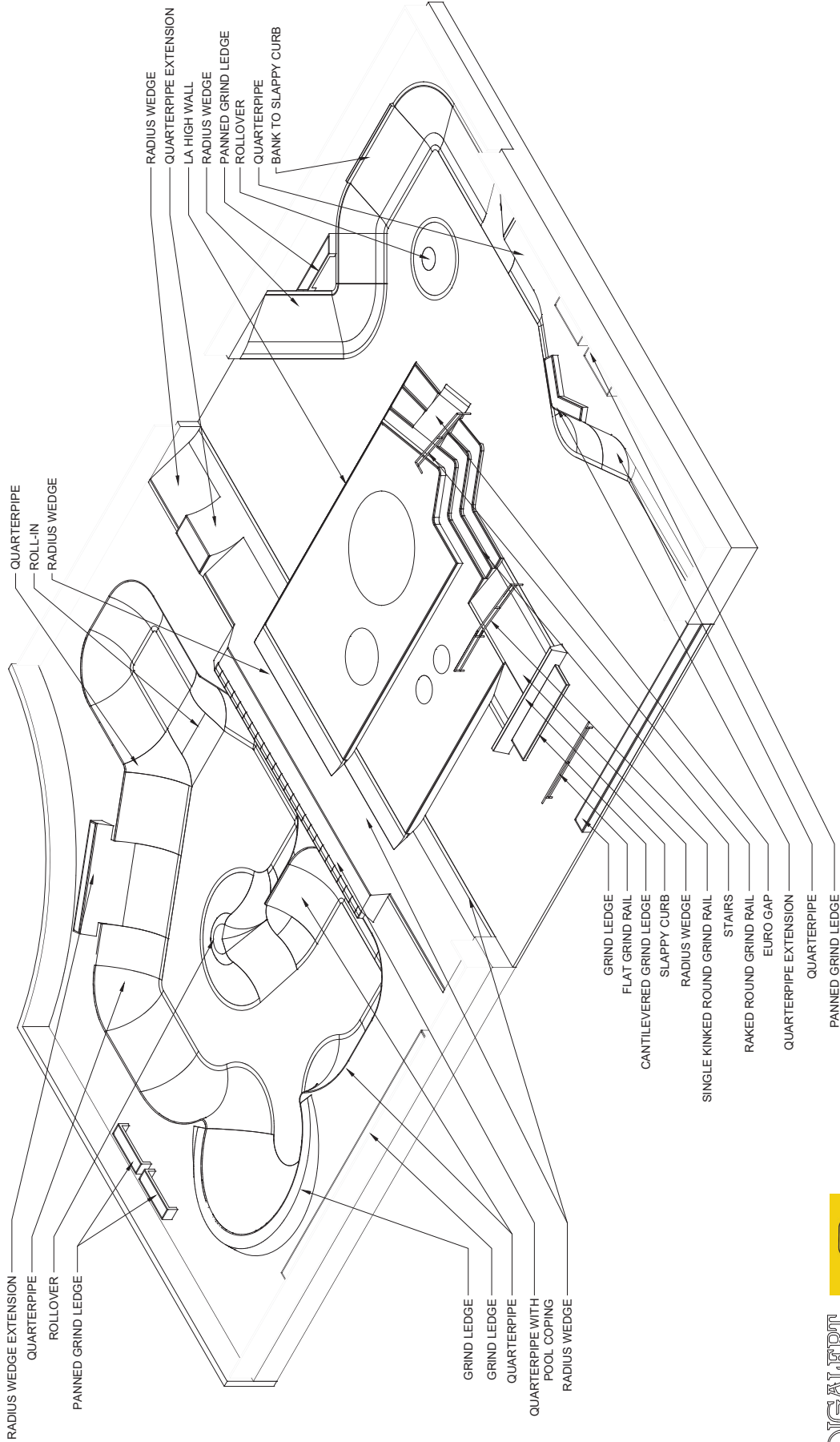


SHEET TITLE
3D PERSPECTIVE

DESIGNED	VD
DRAWN	ZM, DM
CHECKED	DH
DATE	6/20/2023
SCALE	PER PLAN
JOB NO.	22125

SHEET
SK10
 OF 11 SHEETS

[One Inch on Original Sheet]



DIG AHEAD
 CALL BEFORE YOU DIG
 811
 A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT

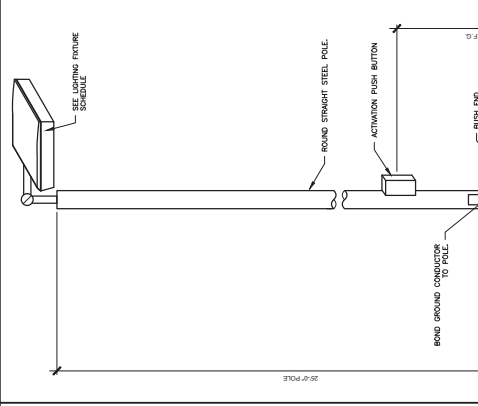
REVISIONS	DATE BY



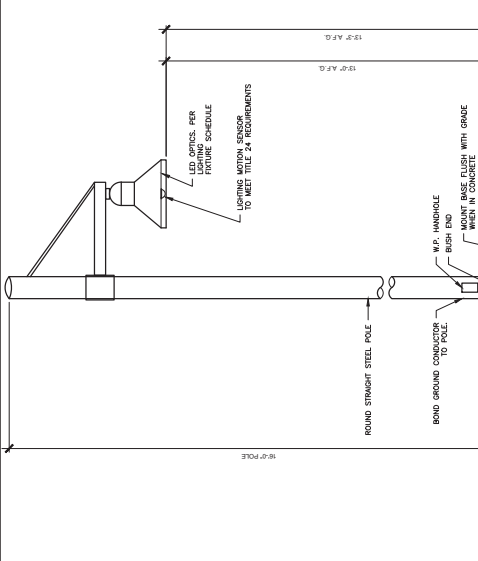
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DESIGNED - JAC
DRAWN - PAM
CHECKED - JAR
DATE - 07/14/2023
SCALE - AS NOTED
JOB NO. - 2006

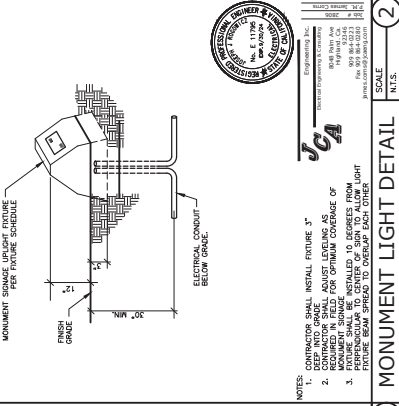
SHEET
E-2.1
OF 18 SHEETS



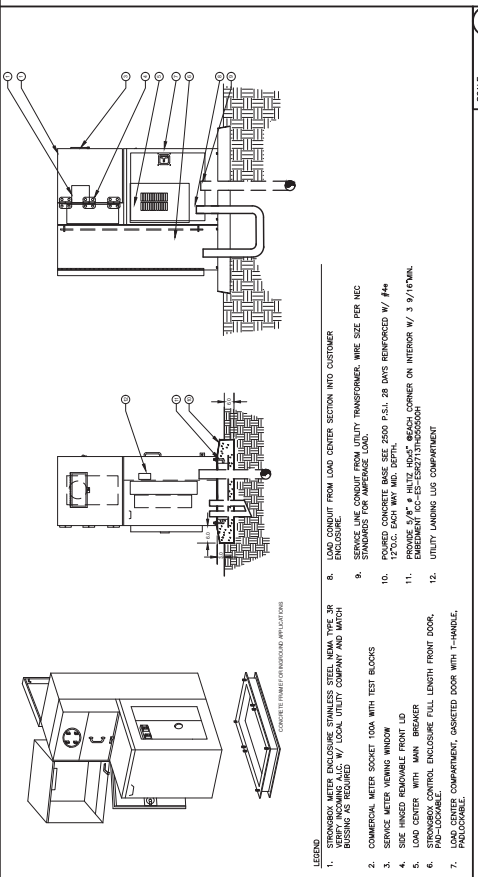
NOTE: VERIFY BOLT PLACEMENT W/ POLE MANUFACTURER PRIOR TO INSTALLATION.
1 COURT LIGHT
SCALE: N.T.S.



NOTE: VERIFY BOLT PLACEMENT W/ POLE MANUFACTURER PRIOR TO INSTALLATION.
2 WALKWAY/COURTYARD FIXTURE
SCALE: N.T.S.



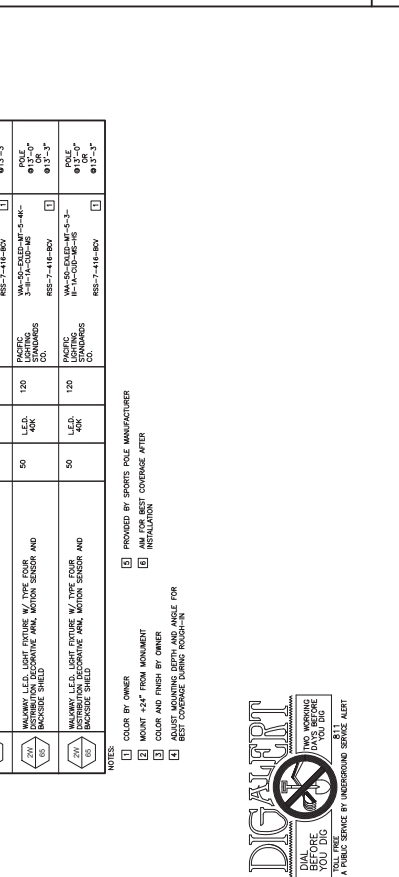
NOTE: CONTRACTOR SHALL INSTALL FIXTURE AS SHOWN. CONTRACTOR SHALL ADJUST LEVELING AS REQUIRED IN FIELD FOR OPTIMUM COVERAGE OF FIXTURE. FIXTURE SHALL BE INSTALLED TO DEGRESS FROM MONUMENT TO WALKWAY. UPLIGHT FIXTURE BEAM SPREAD TO OVERLAP EACH OTHER.
3 MONUMENT LIGHT DETAIL
SCALE: N.T.S.



3 SERVICE ELEVATION
SCALE: N.T.S.

REFER TO DIVISION 1, GENERAL REQUIREMENTS, REGARDING PRODUCT OPTIONS AND SUBSTITUTION. WHERE PRODUCTS ARE LISTED BY MAKING ONE OR MORE OPTIONS, THE LISTED PRODUCT IS THE BASE PRODUCT. ANY SUBSTITUTION MUST BE APPROVED BY THE ARCHITECT AND ONLY BE CONSIDERED IN ACCORDANCE WITH DIVISION 1 OF THESE CONTRACT DOCUMENTS.

NO.	DESCRIPTION	ILLUMINATION WATTS	TYPE	MANUFACTURER	CATALOG #	MOUNTING
101	SINGLE HEAD LED COURT FIXTURE W/ TYPE FORWARD THROW DISTRIBUTION	300	L.E.D. 40K	EVEREST LIGHTING	EL-SR14-L-300-AL-54-11-187/87C	25' POLE
102	2 HEAD LED COURT FIXTURE W/ TYPE FORWARD THROW DISTRIBUTION	600	L.E.D. 40K	LITE POLE	40-2011-28-12-40-08C	15' POLE
103	2 HEAD LED COURT FIXTURE W/ TYPE FORWARD THROW DISTRIBUTION	600	L.E.D. 40K	LITE POLE	40-2011-28-12-40-08C	15' POLE
104	2 HEAD LED COURT FIXTURE W/ TYPE FORWARD THROW DISTRIBUTION	600	L.E.D. 40K	LITE POLE	40-2011-28-12-40-08C	15' POLE
105	2 HEAD LED COURT FIXTURE W/ TYPE FORWARD THROW DISTRIBUTION	600	L.E.D. 40K	LITE POLE	40-2011-28-12-40-08C	15' POLE
106	2 HEAD LED COURT FIXTURE W/ TYPE FORWARD THROW DISTRIBUTION	600	L.E.D. 40K	LITE POLE	40-2011-28-12-40-08C	15' POLE
107	2 HEAD LED COURT FIXTURE W/ TYPE FORWARD THROW DISTRIBUTION	600	L.E.D. 40K	LITE POLE	40-2011-28-12-40-08C	15' POLE
108	2 HEAD LED COURT FIXTURE W/ TYPE FORWARD THROW DISTRIBUTION	600	L.E.D. 40K	LITE POLE	40-2011-28-12-40-08C	15' POLE
109	2 HEAD LED COURT FIXTURE W/ TYPE FORWARD THROW DISTRIBUTION	600	L.E.D. 40K	LITE POLE	40-2011-28-12-40-08C	15' POLE
110	2 HEAD LED COURT FIXTURE W/ TYPE FORWARD THROW DISTRIBUTION	600	L.E.D. 40K	LITE POLE	40-2011-28-12-40-08C	15' POLE
111	2 HEAD LED COURT FIXTURE W/ TYPE FORWARD THROW DISTRIBUTION	600	L.E.D. 40K	LITE POLE	40-2011-28-12-40-08C	15' POLE
112	2 HEAD LED COURT FIXTURE W/ TYPE FORWARD THROW DISTRIBUTION	600	L.E.D. 40K	LITE POLE	40-2011-28-12-40-08C	15' POLE
113	2 HEAD LED COURT FIXTURE W/ TYPE FORWARD THROW DISTRIBUTION	600	L.E.D. 40K	LITE POLE	40-2011-28-12-40-08C	15' POLE
114	2 HEAD LED COURT FIXTURE W/ TYPE FORWARD THROW DISTRIBUTION	600	L.E.D. 40K	LITE POLE	40-2011-28-12-40-08C	15' POLE
115	2 HEAD LED COURT FIXTURE W/ TYPE FORWARD THROW DISTRIBUTION	600	L.E.D. 40K	LITE POLE	40-2011-28-12-40-08C	15' POLE
116	2 HEAD LED COURT FIXTURE W/ TYPE FORWARD THROW DISTRIBUTION	600	L.E.D. 40K	LITE POLE	40-2011-28-12-40-08C	15' POLE
117	2 HEAD LED COURT FIXTURE W/ TYPE FORWARD THROW DISTRIBUTION	600	L.E.D. 40K	LITE POLE	40-2011-28-12-40-08C	15' POLE
118	2 HEAD LED COURT FIXTURE W/ TYPE FORWARD THROW DISTRIBUTION	600	L.E.D. 40K	LITE POLE	40-2011-28-12-40-08C	15' POLE
119	2 HEAD LED COURT FIXTURE W/ TYPE FORWARD THROW DISTRIBUTION	600	L.E.D. 40K	LITE POLE	40-2011-28-12-40-08C	15' POLE
120	2 HEAD LED COURT FIXTURE W/ TYPE FORWARD THROW DISTRIBUTION	600	L.E.D. 40K	LITE POLE	40-2011-28-12-40-08C	15' POLE



NOTE: PROVIDED BY SPORTS POLE MANUFACTURER
4 PEDESTAL AND ENCLOSURE DETAIL
SCALE: N.T.S.



City of Lompoc
Parks and Recreation
100 Civic Center Plaza
Lompoc, CA 93436



College Park Improvements
W College Ave & J Street
Lompoc, CA 93436

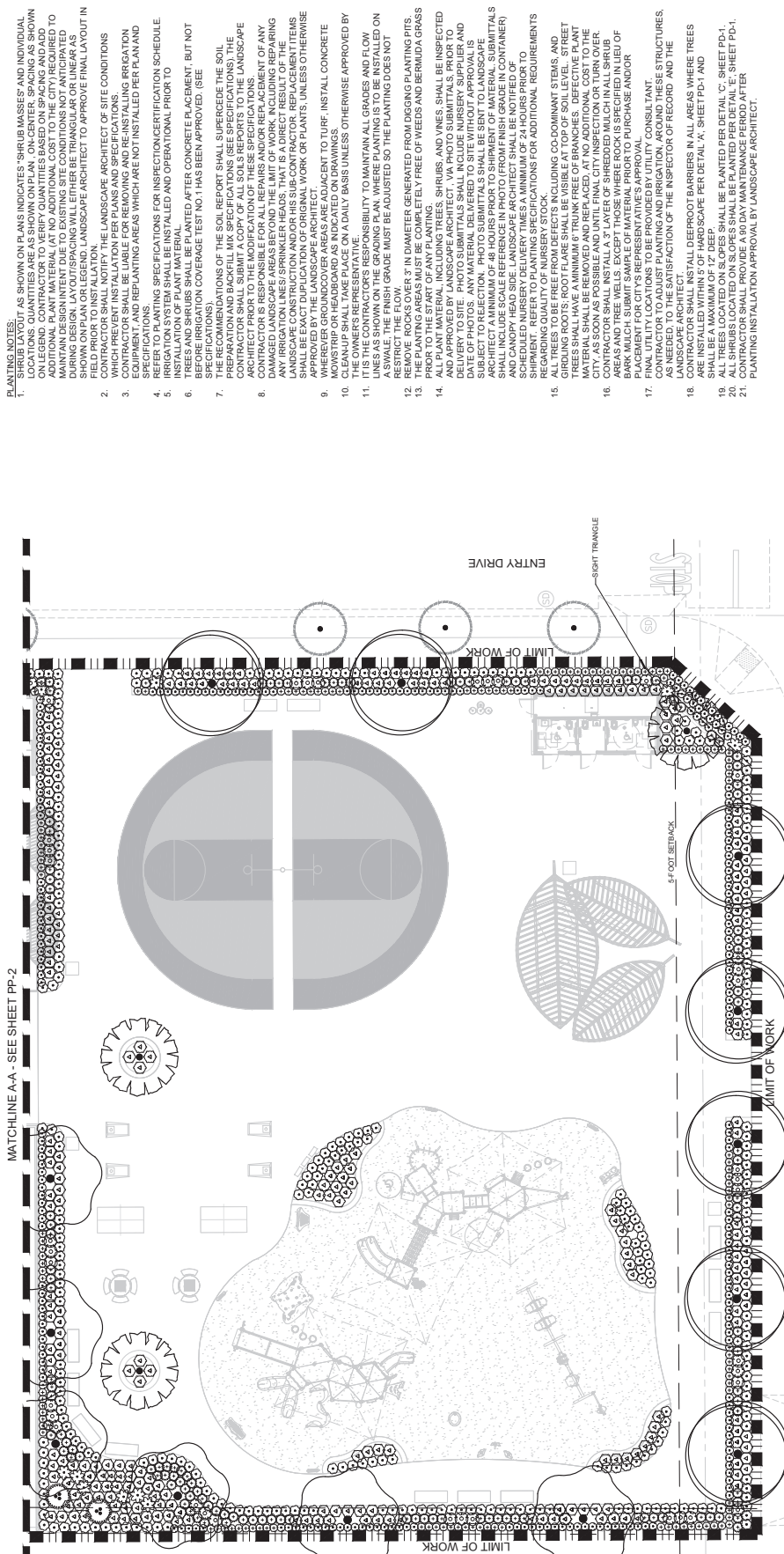
REVISIONS	DATE	BY



SHEET TITLE
PLANTING PLAN

DESIGNED	ED
DRAWN	ED
CHECKED	AL/AT
DATE	07/19/2023
SCALE	PER PLAN
JOB NO.	23123

SHEET
PP-1
9 OF 16 SHEETS



PLANTING NOTES:

1. ALL PLANTINGS ARE SHOWN ON PLAN UNLESS OTHERWISE NOTED. QUANTITIES OF SHRUBS, TREES AND INDIVIDUAL PLANTS ARE SHOWN ON PLAN UNLESS OTHERWISE NOTED. QUANTITIES OF SHRUBS, TREES AND INDIVIDUAL PLANTS ARE SHOWN ON PLAN UNLESS OTHERWISE NOTED. QUANTITIES OF SHRUBS, TREES AND INDIVIDUAL PLANTS ARE SHOWN ON PLAN UNLESS OTHERWISE NOTED.
2. CONTRACTOR TO VERIFY QUANTITIES BASED ON SPACING AND ADDITIONAL PLANT MATERIAL AT NO ADDITIONAL COST TO THE CITY REQUIRED TO MEET THE QUANTITIES SHOWN ON PLAN UNLESS OTHERWISE NOTED.
3. DURING DESIGN LAYOUT SPACING WILL EITHER BE TRIANGULAR OR LINEAR AS SHOWN ON PLAN OR LEGEND. LANDSCAPE ARCHITECT TO APPROVE FINAL LAYOUT IN FIELD PRIOR TO INSTALLATION.
4. CONTRACTOR TO VERIFY THE LANDSCAPE ARCHITECT OF SITE CONDITIONS WHICH PREVENT INSTALLATION PER PLANS AND SPECIFICATIONS.
5. CONTRACTOR SHALL BE LIABLE FOR REMOVING AND RE-INSTALLING IRRIGATION EQUIPMENT, AND REPLANTING AREAS WHICH ARE NOT INSTALLED PER PLAN AND REFER TO PLANTING SPECIFICATIONS FOR INSPECTION/CERTIFICATION SCHEDULE.
6. IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL PRIOR TO INSTALLATION OF PLANT MATERIAL.
7. CONTRACTOR TO VERIFY THE IRRIGATION SYSTEM IS OPERATIONAL BEFORE IRRIGATION COVERAGE TEST NO. 1 HAS BEEN APPROVED. (SEE SPECIFICATIONS).
8. THE RECOMMENDATIONS OF THE SOIL REPORT SHALL SUPERSEDE THE SOIL REPORT AS SHOWN ON PLAN UNLESS OTHERWISE NOTED. CONTRACTOR SHALL SUBMIT A COPY OF ALL SOIL REPORTS TO THE LANDSCAPE ARCHITECT PRIOR TO THE MODIFICATION OF THESE SPECIFICATIONS.
9. CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS AND/OR REPLACEMENT OF ANY IRRIGATION LINES/SPRINKLER HEADS, THAT IS A DIRECT RESULT OF THE LANDSCAPE CONSTRUCTION AND/OR HIS SUB-CONTRACTOR. REPLACEMENT ITEMS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
10. WHEREVER GROUND COVER AREAS ARE ADJACENT TO TURF, INSTALL CONCRETE MOVESTRIP OR HEADBOARD AS INDICATED ON DRAWINGS.
11. ALL PLANTINGS SHALL BE ON A DAILY BASIS UNLESS OTHERWISE APPROVED BY THE OWNERS REPRESENTATIVE.
12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL GRADES AND FLOW LINES AS SHOWN ON THE GRADING PLAN. WHERE PLANTING IS TO BE INSTALLED ON EXISTING GRADE, GRADE MUST BE ADJUSTED SO THE PLANTING DOES NOT RESTRICT THE FLOW.
13. REMOVE ROCKS OVER 3" IN DIAMETER GENERATED FROM DIGGING PLANTING PITS.
14. ALL PLANTING AREAS MUST BE COMPLETELY FREE OF WEEDS AND BERMUDA GRASS AND APPROVED BY LANDSCAPE ARCHITECT. VA. PHOTO SUBMITTALS, PRIOR TO DELIVERY TO SITE. PHOTO SUBMITTALS SHALL INCLUDE NURSERY SUPPLIER AND PHOTOS OF PLANTS TO BE INSTALLED. PHOTO SUBMITTALS SHALL BE SENT TO LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS PRIOR TO SHIPMENT OF MATERIAL. SUBMITTALS SHALL INCLUDE SCALE REFERENCE IN PHOTO (FROM FINISH GRADE IN CONTAINER).
15. ALL PLANTINGS SHALL BE SHIPPED AND DELIVERED TO THE SITE WITH SCHEDULED NURSERY DELIVERY TIMES A MINIMUM OF 24 HOURS PRIOR TO SHIPMENT. REFER TO PLANTING SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS REGARDING QUALITY OF NURSERY STOCK.
16. PLANTINGS INCLUDING, BUT NOT LIMITED TO, TREES, SHRUBS, AND VINES, SHALL BE INSPECTED AND APPROVED BY LANDSCAPE ARCHITECT. VA. PHOTO SUBMITTALS, PRIOR TO DELIVERY TO SITE. PHOTO SUBMITTALS SHALL INCLUDE NURSERY SUPPLIER AND PHOTOS OF PLANTS TO BE INSTALLED. PHOTO SUBMITTALS SHALL BE SENT TO LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS PRIOR TO SHIPMENT OF MATERIAL. SUBMITTALS SHALL INCLUDE SCALE REFERENCE IN PHOTO (FROM FINISH GRADE IN CONTAINER).
17. CONTRACTOR SHALL INSTALL DEEPROOT BARRIERS IN ALL AREAS WHERE TREES ARE INSTALLED WITHIN 9" OF HARDSCAPE PER DETAIL 'A', SHEET PP-1 AND SHEET PP-2.
18. ALL SHRUBS LOCATED ON SLOPES SHALL BE PLANTED PER DETAIL 'C', SHEET PP-1.
19. CONTRACTOR SHALL PROVIDE A 90 DAY MAINTENANCE PERIOD AFTER PLANTING INSTALLATION APPROVAL BY LANDSCAPE ARCHITECT.

REFER TO SHEET PP-3 FOR PLANTING LEGEND



FOR CORRESPONDING DEMOLITION PLANS: REFER TO SHEET DP-1 FOR CORRESPONDING DEMOLITION PLANS. REFER TO SHEET DP-1 FOR CORRESPONDING IRRIGATION PLANS. REFER TO SHEET IP-1 FOR CORRESPONDING IRRIGATION PLANS.

DIAGNOSTIC

DATE: 07/19/2023
BY: ED

FOR MORE INFORMATION CONTACT: 811
A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT

REVISIONS	DATE	BY



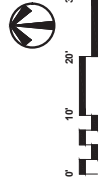
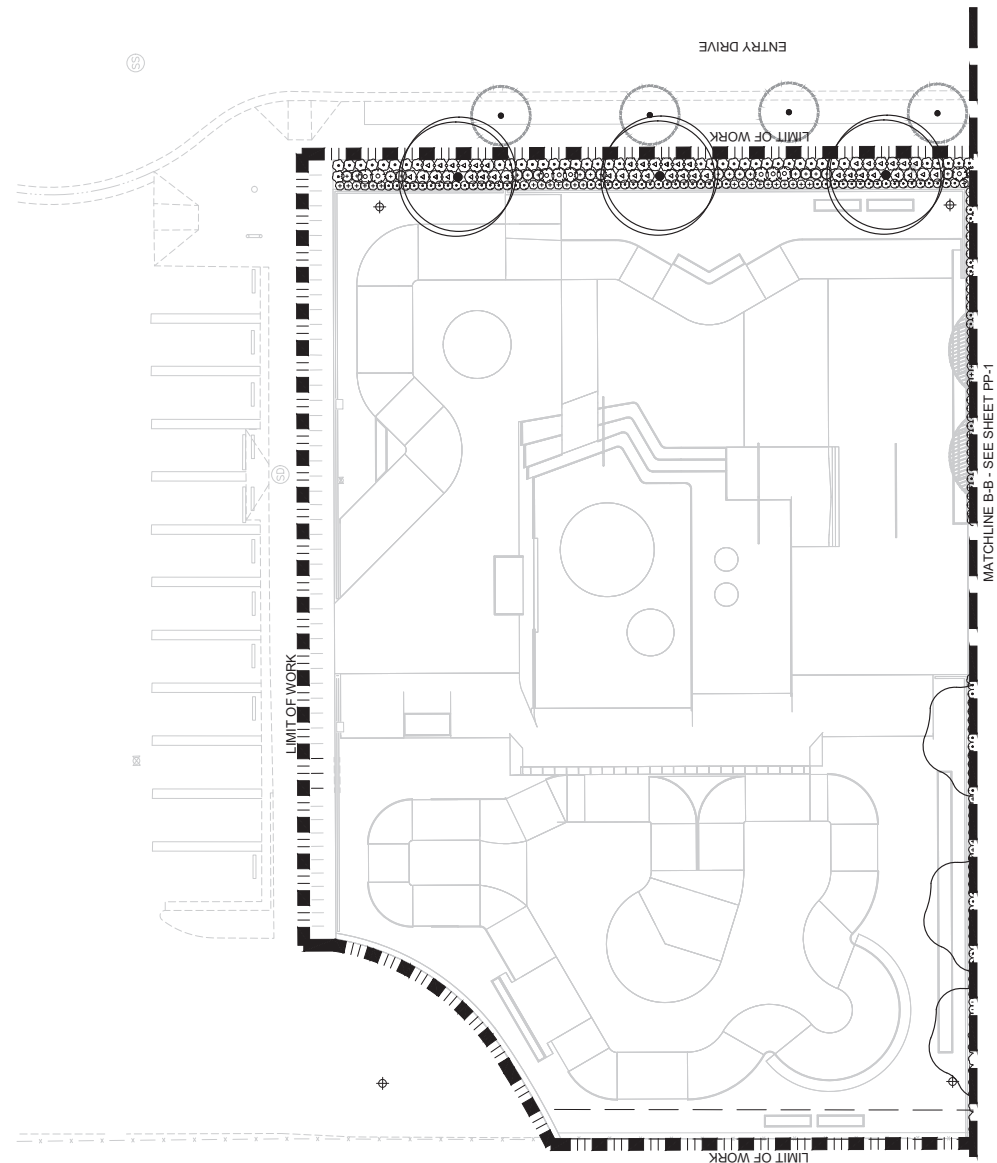
SHEET TITLE
PLANTING PLAN

DESIGNED	ED
DRAWN	ED
CHECKED	AL/AT
DATE	07/19/2023
SCALE	PER PLAN
JOB NO.	23123

SHEET
PP-2
10 OF 16 SHEETS

PLANTING NOTES:

1. ALL PLANTING IS SHOWN ON PLANS UNLESS "SHRUB MASSES" AND INDIVIDUAL LOCATIONS QUANTITIES ARE SHOWN ON PLAN. ON-CENTERS SPACING AS SHOWN ON LEGEND. CONTRACTOR TO VERIFY QUANTITIES BASED ON SPACING AND ADD ADDITIONAL PLANT MATERIAL (AT NO ADDITIONAL COST TO THE CITY) REQUIRED TO MEET THE QUANTITIES SHOWN ON PLANS. CONTRACTOR TO VERIFY QUANTITIES DURING DESIGN LAYOUT. SPACING WILL EITHER BE TRIANGULAR OR LINEAR AS SHOWN ON PLAN OR LEGEND. LANDSCAPE ARCHITECT TO APPROVE FINAL LAYOUT IN FIELD PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL VERIFY THE LANDSCAPE ARCHITECT OF SITE CONDITIONS WHICH PREVENT INSTALLATION PER PLANS AND SPECIFICATIONS.
3. CONTRACTOR SHALL BE LIABLE FOR REMOVING AND RE-INSTALLING IRRIGATION EQUIPMENT, AND REPLANTING AREAS WHICH ARE NOT INSTALLED PER PLAN AND IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL PRIOR TO INSTALLATION OF PLANT MATERIAL.
4. CONTRACTOR SHALL VERIFY THE CONCRETE FINISH GRADE, BUT NOT BEFORE IRRIGATION COVERAGE TEST NO. 1 HAS BEEN APPROVED. (SEE SPECIFICATIONS).
5. THE RECOMMENDATIONS OF THE SOIL REPORT SHALL SUPERSEDE THE SOIL RECOMMENDATIONS ON PLANS. CONTRACTOR SHALL SUBMIT A COPY OF ALL SOIL REPORTS TO THE LANDSCAPE ARCHITECT PRIOR TO THE MODIFICATION OF THESE SPECIFICATIONS.
6. CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS AND/OR REPLACEMENT OF ANY ANY IRRIGATION LINES/SPRINKLER HEADS, THAT IS A DIRECT RESULT OF THE LANDSCAPE CONSTRUCTION AND/OR HIS SUB-CONTRACTOR. REPLACEMENT ITEMS SHALL BE PROVIDED BY THE LANDSCAPE ARCHITECT.
7. CONTRACTOR SHALL VERIFY THE LANDSCAPE ARCHITECT OF SITE CONDITIONS WHEREVER GROUND COVER AREAS ARE ADJACENT TO TURF. INSTALL CONCRETE MOVESTRIP OR HEADBOARD AS INDICATED ON DRAWINGS.
8. ALL SLOPES SHALL BE ON A DAILY BASIS UNLESS OTHERWISE APPROVED BY THE OWNERS REPRESENTATIVE.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL GRADES AND FLOW LINES AS SHOWN ON THE GRADING PLAN. WHERE PLANTING IS TO BE INSTALLED ON SLOPES, THE PLANTING GRADE MUST BE ADJUSTED SO THE PLANTING DOES NOT RESTRICT THE FLOW.
10. REMOVE ROCKS OVER 3" IN DIAMETER GENERATED FROM DIGGING PLANTING PITS.
11. ALL PLANT MATERIAL, INCLUDING TREES, SHRUBS, AND VINES, SHALL BE INSPECTED AND APPROVED BY LANDSCAPE ARCHITECT. VA PHOTO SUBMITTALS, PRIOR TO DELIVERY TO SITE. PHOTO SUBMITTALS SHALL INCLUDE NURSERY SUPPLIER AND SPECIFICATIONS FOR EACH PLANT. PHOTO SUBMITTALS SHALL BE SENT TO LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS PRIOR TO SHIPMENT OF MATERIAL. SUBMITTALS SHALL INCLUDE SCALE REFERENCE IN PHOTO (FROM FINISH GRADE IN CONTAINER) AND DATE OF PHOTO. PHOTO SUBMITTALS SHALL BE SENT TO LANDSCAPE ARCHITECT A MINIMUM OF 24 HOURS PRIOR TO SCHEDULED NURSERY DELIVERY TIMES.
12. REGARDING QUALITY OF NURSERY STOCK:
a. TREES SHALL BE FULLY DEVELOPED, INCLUDING CO-DOMINANT STEMS, AND GROUNDING ROOTS. ROOT FLARE SHALL BE VISIBLE AT TOP OF SOIL LEVEL. STREET TREES SHALL HAVE A MINIMUM 6" TRUNK FREE OF BRANCHES. DEFECTIVE PLANT MATERIAL SHALL BE REMOVED AND REPLACED, AT NO ADDITIONAL COST TO THE CONTRACTOR.
b. SHRUBS SHALL BE FULLY DEVELOPED, INCLUDING CO-DOMINANT STEMS. CONTRACTOR SHALL INSTALL A 3" LAYER OF SHREDDED MULCH IN ALL SHRUB AREAS AND TREE WELLS. EXCEPT THOSE WHERE ROCK IS SPECIFIED IN LIEU OF BARK MULCH. SUBMIT SAMPLE OF MATERIAL PRIOR TO PURCHASE AND/OR DELIVERY TO SITE.
c. ALL PLANTING SHALL BE INSTALLED IN THE SPECIFIED FINAL UTILITY LOCATIONS TO BE PROVIDED BY UTILITY CONSULTANT.
13. CONTRACTOR TO ADJUST PLANTING AND IRRIGATION, AROUND THESE STRUCTURES, AS SHOWN ON PLANS. CONTRACTOR SHALL VERIFY THE SATISFACTION OF THE INSPECTOR OF RECORD, AND THE INSPECTOR OF RECORD SHALL SIGN OFF ON THE PLANTING.
14. CONTRACTOR SHALL INSTALL DEEPROOT BARRIERS IN ALL AREAS WHERE TREES ARE INSTALLED WITHIN 5' OF HARDSCAPE PER DETAIL 'A', SHEET PP-1 AND DETAIL 'B', SHEET PP-1.
15. ALL TREES LOCATED ON SLOPES SHALL BE PLANTED PER DETAIL 'C', SHEET PP-1.
16. ALL SHRUBS LOCATED ON SLOPES SHALL BE PLANTED PER DETAIL 'E', SHEET PP-1.
17. CONTRACTOR SHALL PROVIDE A 90 DAY MAINTENANCE PERIOD AFTER PLANTING INSTALLATION APPROVAL BY LANDSCAPE ARCHITECT.



REFER TO SHEET PP-3 FOR PLANTING LEGEND
PLAN CROSS REFERENCE:
FOR CORRESPONDING DEMOLITION PLANS, REFER TO SHEET PP-2
FOR CORRESPONDING IRRIGATION PLANS, REFER TO SHEET PP-2
FOR CORRESPONDING PLANTING PLANS, REFER TO SHEET PP-2

DIG ALERT
Two weeks before excavation, call 811
A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT

REVISIONS	DATE	BY



SHEET TITLE
PLANTING LEGEND

DESIGNED	ED
DRAWN	ED
CHECKED	AL/AT
DATE	07/18/2023
SCALE	PER PLAN
JOB NO.	23123

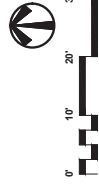
SHEET
PP-3
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PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONTAINER	DETAIL
	6	ARBUTUS X MARINNA / MARINA STRAWBERRY TREE	36"BOX	BPD-1
	3	CERCIS OCCIDENTALIS / WESTERN REDBUD	36"BOX	BPD-1
	7	EXISTING PALM TREE	EXISTING TO REMAIN	
	10	TABESBURIA AVELLANEAE / PINK TRUMPET TREE	36"BOX	BPD-1

SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	DETAIL
	2	AGAVE AMERICANA / CENTURY PLANT	5 GAL	60" o.c.	DPD-1
	10	AGAVE MILORINIANA / OCTOPUS AGAVE	5 GAL	36" o.c.	DPD-1
	46	AGAVE X BLUE FLAME / BLUE FLAME AGAVE	5 GAL	30" o.c.	DPD-1
	276	HEMEROCALLIS FILIVA / 'DREAMYELLOW' / ENDLESSLY YELLOW DAVILY	1 GAL	18" o.c.	DPD-1
	146	HESPERALOE PARVIFLORA TERIPA / 'BRANDELIGHTS' RED YUCCA	5 GAL	24" o.c.	DPD-1
	317	LOMANDRA CONERTIFOLIA / POIN / SHORTY MAT RUSH	1 GAL	24" o.c.	DPD-1
	308	MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS	5 GAL	30" o.c.	DPD-1
	147	SALVA MEMORIOSA / CARADONNA / CARADONNA MEADOW SAGE	1 GAL	18" o.c.	DPD-1

REFER TO SHEET PP-1 FOR PLANTING NOTES



DIG ALERT
CALL BEFORE YOU DIG
811
A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT

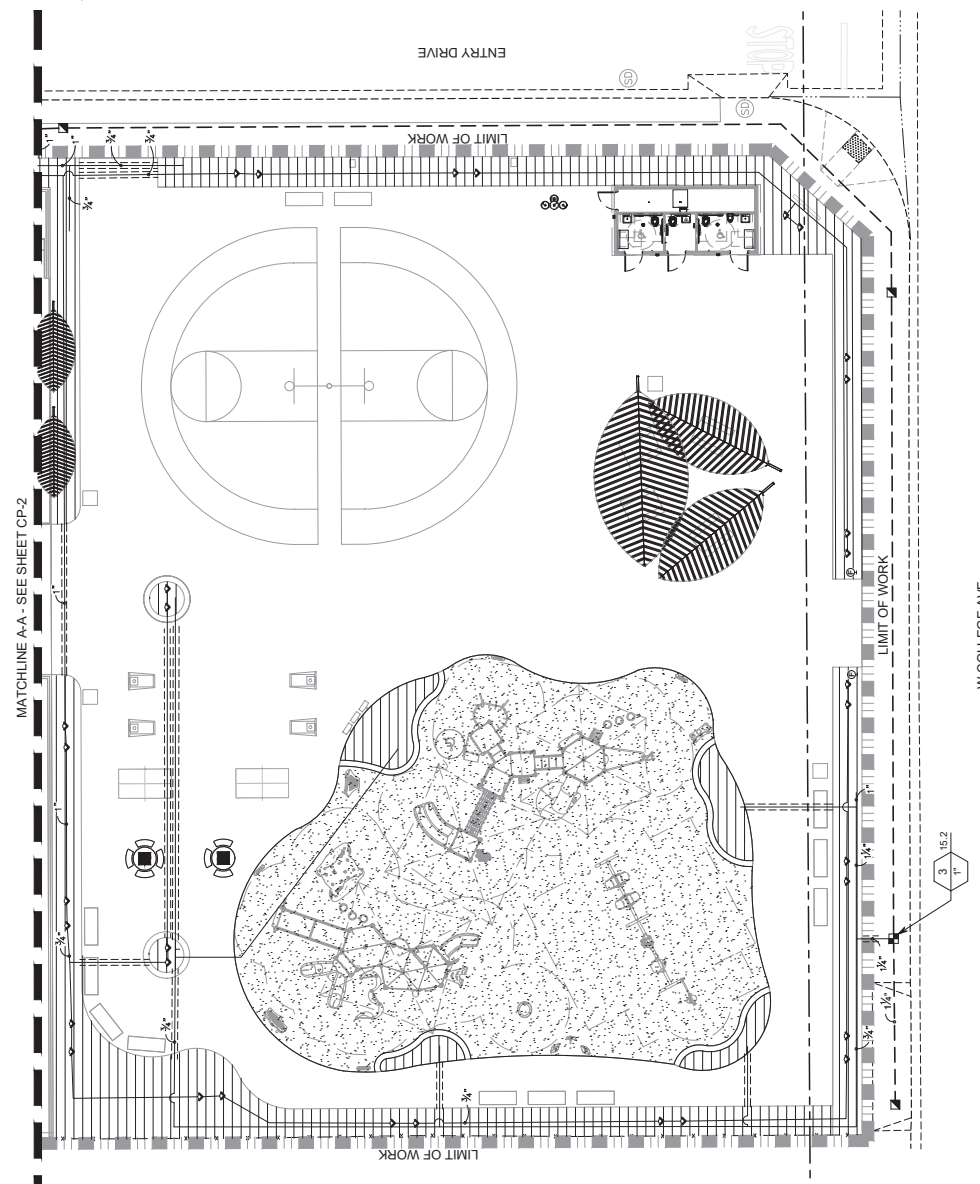
REVISIONS	DATE	BY



SHEET TITLE
IRRIGATION PLAN

DESIGNED	ED
DRAWN	ED
CHECKED	AL/AT
DATE	07/19/2023
SCALE	PER PLAN
JOB NO.	22125

SHEET
IP-1
7 OF 16 SHEETS



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/DESCRIPTION	PSI	DETAIL
	DUAL STREAM BUBBLER, 8" POPUP, FACTORY INSTALLED	30	ATD-1
	DRAIN CHECK VALVE		DETAL
	HUNTER R22-014-0 HUNTER VALVE, 1" CO. ONE VALVE WITH 1" HYDRO FILTER SYSTEM, PRESSURE REGULATION, 60PSI, 1/2" CO. BRASS, 2" GPM TO 20 GPM, 150 MESH STAINLESS STEEL SCREEN		EBD-1
	DRIP LINE FLUSH VALVE		FID-1
	AREA TO RECEIVE DRIP LINE		IED-1
	HUNTER H0-48HC HUNTER VALVE, YELLOW RUBBER, LOCKING COVER, RED BRASS AND STAINLESS STEEL, WITH 1" NPT INLET, 2" PIPE BODY		IBD-1
	POINT OF CONNECTION, 2"		GID-1
	IRRIGATION LATERAL LINE, PVC SCHEDULE 40		HID-1
	PVC SLEEVE, PVC SCHEDULE 40		GID-1

CRITICAL ANALYSIS

Water Source Information: POTABLE
 FLOW AVAILABLE: 7716 GPM
 Point of Connection Size: 2"
 Pressure Available: 110 PSI
 DESIGN ANALYSIS
 Maximum Station Flow: 19.24 GPM
 Maximum Station Pressure: 58.84 GPM
 Residual Flow Available: 58.84 GPM
 Critical Station: 3
 Pressure Req. at Critical Station: 46.2 PSI
 Loss for Friction: 12.64 PSI
 Loss for Man Line: 4.85 PSI
 Loss for POC to Valve Elevation: 0 PSI
 Critical Station Pressure at POC: 51.2 PSI
 Residual Pressure Available: 58.8 PSI

MATCHLINE A-A - SEE SHEET CP-2

SCH 40 PVC SLEEVING CHART

1-1/4" SLEEVE	1-4 WIRES 1/2" PIPE
2" SLEEVE	1-20 WIRES 1" PIPE
2-1/2" SLEEVE	1" PIPE
4" SLEEVE	2" PIPE
6" SLEEVE	6-109 WIRES 2-1/2"/3" PIPE

EXISTING CONTROLLER NOTE:
 THE EXISTING CONTROLLER IS LOCATED IN THE CONTROLLER ROOM IN THE AQUATIC CENTER.
 ALL IRRIGATION IMPROVEMENTS SHALL BE IN ACCORDANCE WITH PARKS AND COMMUNITY SERVICES STANDARD PLANS.

THE MAINLINE AND VALVE LOCATIONS ARE SHOWN DIAGRAMMATICALLY FOR DRAWING CLARITY ONLY. VALVES ARE TO BE INSTALLED IN LANDSCAPE AREAS. CONTRACTOR MAY ADJUST THE LAYOUT IN FIELD WITH THE CITY'S APPROVAL. CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION TO EXISTING IRRIGATION DESIGNATED TO REMAIN IN PLACE AT NO ADDITIONAL COST TO THE CITY.



REFER TO SHEET IP-2 FOR IRRIGATION NOTES
 PLAN CROSS REFERENCE
 FOR CORRESPONDING DEMOLITION PLANS, REFER TO SHEET DP-1
 FOR CORRESPONDING CONSTRUCTION PLANS, REFER TO SHEET CP-1

REVISIONS	DATE	BY



IRRIGATION PLAN

DESIGNED	ED
DRAWN	ED
CHECKED	AL/AT
DATE	07/19/2023
SCALE	PER PLAN
JOB NO.	24123

SHEET
IP-2
6 OF 16 SHEETS

IRRIGATION SCHEDULE

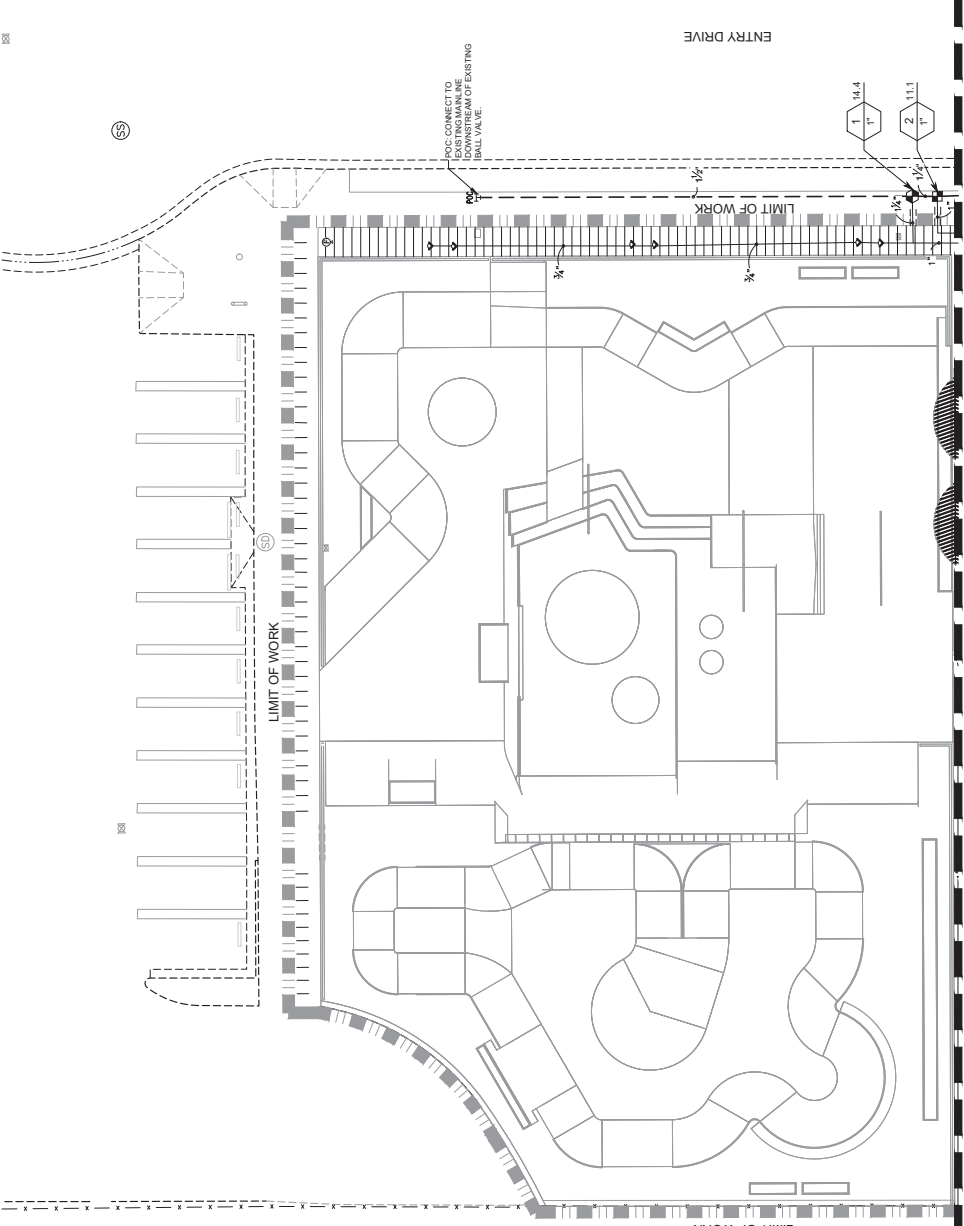
SYMBOL	MANUFACTURER/DESCRIPTION	PSI	DETAIL
	DUAL-STREAM BUBBLER, 4" POP-UP, FACTORY INSTALLED	30	AND-1
	DRAIN CHECK VALVE		
	HUNTER NOZZLE, 1/2" GPM, 1" COV, ONE-VALVE WITH 1" HYDRO FILTER SYSTEM, PRESSURE REGULATION, 40PSI, 150 MESH STAINLESS STEEL SCREEN		END-1
	DRIPLINE FLUSH VALVE		FID-1
	AREA TO RECEIVE DRIPLINE		
	EMITTERS AT 18" O.C. DRIPLINE LATERALS SPACED AT 18" PATTERNS, INSTALL WITH HUNTER PAD BARBED FITTINGS, BURY TUBING 2" BELOW SOIL		IBD-1
	PLASTIC ELECTRIC REMOTE CONTROL VALVE WITH FILTER		CID-1
	SENTRY		
	HUNTER NOZZLE, 1/2" GPM, 1" COV, ONE-VALVE WITH 1" HYDRO FILTER SYSTEM, PRESSURE REGULATION, 40PSI, 150 MESH STAINLESS STEEL SCREEN		END-1
	POINT OF CONNECTION		
	IRRIGATION LATERAL LINE, PVC SCHEDULE 40		GID-1
	PIPE SLEEVE, PVC SCHEDULE 40		HID-1
	EMITTERS AT 18" O.C. DRIPLINE LATERALS SPACED AT 18" PATTERNS, INSTALL WITH HUNTER PAD BARBED FITTINGS, BURY TUBING 2" BELOW SOIL		GID-1

CRITICAL ANALYSIS

Water Source Information: POTABLE
 Flow Available: 77.18 GPM
 Point of Connection Size: 2"
 Pressure Available at POC: 110PSI
 Pressure Available: 110PSI
 DESIGN ANALYSIS
 Maximum Station Flow: 19.24 GPM
 Minimum Station Flow: 1.14 GPM
 Required Flow Available: 58.94 GPM
 Critical Station: 3
 Pressure Req. at Critical Station: 48.2 PSI
 Loss for Friction: 4.85 PSI
 Loss for Main Line: 0 PSI
 Loss for POC to Valve Elevation: 0 PSI
 Critical Station Pressure at POC: 51.5 PSI
 Required Pressure Available: 55.5 PSI

SCH 40 PVC SLEEVING CHART

1 1/4" SLEEVE	1-4 WIRES 1/2" PIPE
1 1/2" SLEEVE	5-10 WIRES 3/4" PIPE
2" SLEEVE	11-16 WIRES 1" PIPE
2 1/2" SLEEVE	21-30 WIRES 1 1/4" PIPE
3" SLEEVE	31-40 WIRES 1 1/2" PIPE
4" SLEEVE	41-50 WIRES 2" PIPE
6" SLEEVE	61-90 WIRES 2 1/2" PIPE



GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CITY CODES & SPECIFICATION, AND THESE PLANS.
- ALL MAINLINE, LATERALS AND CONTROL WIRES SHALL BE SLEAVED IN SCH. 40 PVC UNDER HARDCAPE.
- ALL VALVE BOX LOCATIONS SHOWN ARE APPROXIMATE AND THE CONTRACTOR MAY ADJUST THE LAYOUT IN FIELD WITH THE CITY'S APPROVAL.
- CONTRACTOR SHALL CAREFULLY REVIEW THE SITE AND VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK UNDER THIS CONTRACT.
- OWNER CONTRACTOR SHALL CARRY ALL WORKERS PUBLIC LIABILITY, AND PROPERTY DAMAGE INSURANCE AS REQUIRED BY ANY OTHER SPECIFICATION.
- THE CONSTRUCTION OF IRRIGATION SYSTEMS SHALL INCLUDE THE FURNISHING, INSTALLING AND TESTING OF ALL MAIN LINE, POINT OF CONNECTION, LATERAL LINE, RISERS AND FITTINGS, AND THE FURNISHING AND TESTING OF ALL VALVE BOXES AND FITTINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, AND FOR OBTAINING ALL NECESSARY BACKFLOW PROTECTION, EXCAVATION AND BACKFILL, AND ALL OTHER WORK IN ACCORDANCE WITH THESE PLANS, DETAILS AND NOTES.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION AND PERFORM ALL WORK NECESSARY TO COMPLETE THE IRRIGATION SYSTEMS PER THE PLANS, DETAILS, LEGEND AND NOTES. ALL IRRIGATION WORK SHALL BE GUARANTEED BY THE CONTRACTOR AS TO MATERIALS AND WORKMANSHIP, INCLUDING ALL NECESSARY TRENCHES BELOW GRADE FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE OF FINAL ACCEPTANCE OF THE WORK.
- THE LANDSCAPE ARCHITECT SHALL DECIDE ALL QUESTIONS RELATING TO INTERPRETATION OF THE DRAWINGS AND THE ACCEPTABLE FULFILLMENT OF THE CONTRACT.

EXISTING CONTROLLER NOTE:
 THE EXISTING CONTROLLER IS LOCATED IN THE CONTROLLER ROOM IN THE PLANNING CENTER.
 ALL IRRIGATION IMPROVEMENTS SHALL BE IN ACCORDANCE WITH PARKS AND RECREATION DEPARTMENT STANDARD PLANS.

PLAN CROSS REFERENCE:
 FOR CORRESPONDING DEMOLITION PLANS, REFER TO SHEET DP-2.
 FOR CORRESPONDING CONSTRUCTION PLANS, REFER TO SHEET CP-2.
 FOR CORRESPONDING PLANTING PLANS, REFER TO SHEET PP-2.



DIGIART
 811
 A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT



0' 10' 20' 30'

REVISIONS	DATE	BY



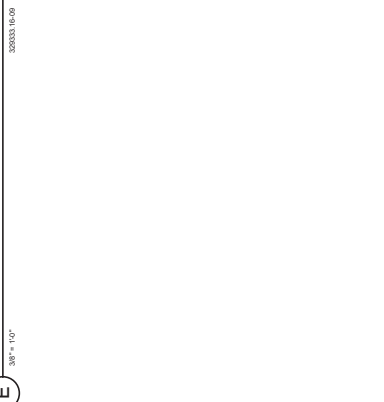
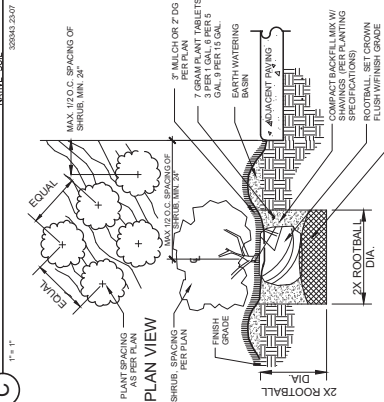
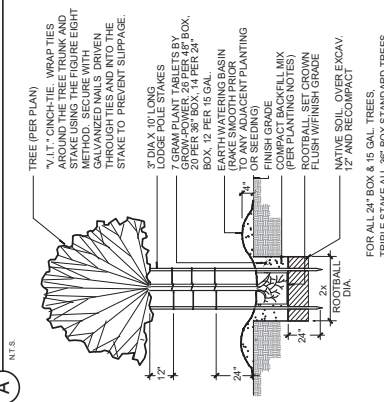
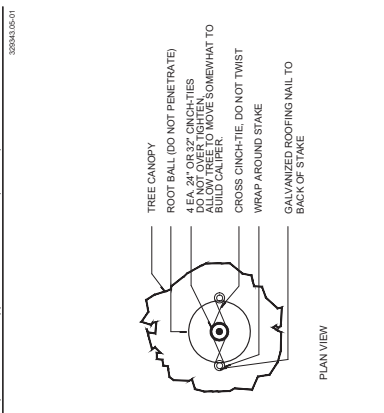
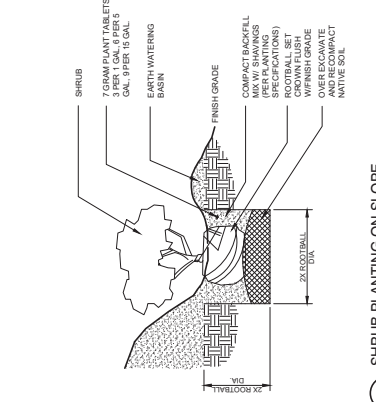
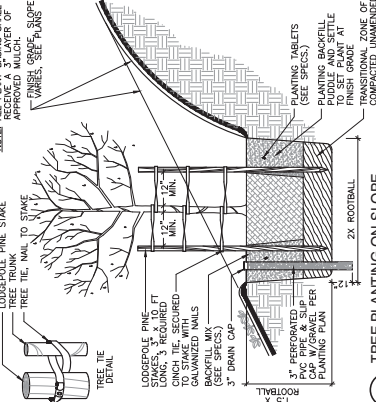
SHEET TITLE
PLANTING DETAILS

DESIGNED	ED
DRAWN	ED
CHECKED	NJ/AT
DATE	07/18/2023
SCALE	PER PLAN
JOB NO.	23123

SHEET
PD-1
18 OF 18 SHEETS

For a simple formula to determine the quantity of panels required for a Linear application use:
Estimated Diameter of the Tree Canopy at Maturity + 2 (6cm) = Length of Barrier per Side.
As this one side of the tree may be in the way of the barrier, the barrier should be placed on the opposite side of the tree.
Notes: Linear Barrier (LB) 12-2 and LB 18-2 are packaged in 2' lengths. Linear Barrier (LB) 12-2 and LB 18-2 are packaged in 2' lengths. Linear Barrier (LB) 12-2 and LB 18-2 are packaged in 2' lengths. Linear Barrier (LB) 12-2 and LB 18-2 are packaged in 2' lengths.

Linear Style Planting with DeepRoot Barriers
Determine the location of the barrier in relation to the tree and the number of trees involved in the plan and the number of trees involved in the length of linear barrier will vary, but as a minimum, the barrier should be placed against the tree trunk. The barrier should be placed against the tree trunk to provide a clear path for the tree to grow. The barrier should be placed against the tree trunk to provide a clear path for the tree to grow. The barrier should be placed against the tree trunk to provide a clear path for the tree to grow.



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