

# Burton Ranch Specific Plan



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**Burton Ranch  
Specific Plan**

**Approved by:  
The City of Lompoc**

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## TABLE OF CONTENTS

<b>I. THE BURTON RANCH SPECIFIC PLAN.....</b>	<b>1</b>
<i>Purpose of The Burton Ranch Specific Plan.....</i>	1
<b>II. HISTORY OF THE BURTON RANCH AND SURROUNDS.....</b>	<b>6</b>
<i>The Early Days .....</i>	6
<i>The “Dry” Days.....</i>	6
<i>The Modern Days.....</i>	7
<i>Inspiration for The Burton Ranch Specific Plan.....</i>	8
<b>III. ENVIRONMENTAL RESOURCES &amp; CONSERVATION.....</b>	<b>10</b>
<i>Natural Features.....</i>	10
<i>Resource Conservation Development Standards.....</i>	15
<b>IV. THE LAND USE PLAN.....</b>	<b>21</b>
<i>Character .....</i>	21
<i>Land Uses.....</i>	21
<i>Land Use Development Standards.....</i>	22
<b>V. ZONING .....</b>	<b>26</b>
<i>Intent .....</i>	26
<i>Procedure.....</i>	26
<i>General Zoning Provisions .....</i>	27
<i>Zoning Development Standards.....</i>	29
LAND USE AREA 1 .....	29
LAND USE AREA 2.....	31
LAND USE AREA 3 .....	33
LAND USE AREA 4.....	34
LAND USE AREA 5 .....	35
LAND USE AREA 6.....	35
LAND USE AREA 7 .....	35
<b>VI. SIGNS.....</b>	<b>36</b>
<i>Construction Signs.....</i>	36
<i>Subdivision Signs .....</i>	36
<i>Entry Signs.....</i>	36
<i>Directional Signs .....</i>	38
<i>Institutional Signs .....</i>	38
<b>VII. THE INFRASTRUCTURE PLAN.....</b>	<b>40</b>
<i>Traffic &amp; Circulation.....</i>	40
<i>Circulation Development Standards.....</i>	40
<i>Utilities.....</i>	48



<i>Utilities Development Standards</i> .....	49
<i>Public Services</i> .....	51
<i>Public Services Development Standards</i> .....	52
<b>VIII. ARCHITECTURAL &amp; SITE DESIGN STANDARDS</b> .....	<b>57</b>
<i>Site Amenities</i> .....	57
<i>Entry Features</i> .....	57
<i>Roundabouts</i> .....	57
<i>Multi-purpose and Pedestrian Paths</i> .....	58
<i>Streetlights and street signs</i> .....	58
<i>Water Tower</i> .....	59
<i>Fences</i> .....	59
<i>Sound Walls and Landscaped Perimeter Buffers</i> .....	60
<i>Mailboxes</i> .....	60
<i>Site Design Development Standards</i> .....	60
<i>Grading &amp; Drainage Design</i> .....	61
<i>Grading &amp; Drainage Design Development Standards</i> .....	62
<i>Architectural Guidelines</i> .....	64
<i>Architectural Design Development Standards</i> .....	65
<b>IX. IMPLEMENTATION</b> .....	<b>70</b>
<i>City Actions Necessary for Implementation</i> .....	70
<i>Property Owner Actions Necessary for Implementation</i> .....	70
<i>Relationship to Zoning and Subdivision Ordinances</i> .....	70
<i>Amendments</i> .....	71
<b>X. CONSISTENCY WITH CITY OF LOMPOC GENERAL PLAN</b> .....	<b>72</b>
<i>Aesthetics/Visual Resources</i> .....	72
<i>Air Quality</i> .....	74
<i>Biological Resources</i> .....	76
<i>Cultural Resources</i> .....	78
<i>Geology &amp; Soils</i> .....	79
<i>Hazards &amp; Hazardous Materials</i> .....	81
<i>Hydrology &amp; Water Quality</i> .....	83
<i>Land Use</i> .....	86
<i>Noise</i> .....	88
<i>Public Services</i> .....	89
<i>Recreation</i> .....	92
<i>Transportation &amp; Circulation</i> .....	93
<i>Utilities</i> .....	98
<b>XI. MITIGATION MEASURES</b> .....	<b>102</b>

## ***LIST OF FIGURES & TABLES***

Figure 1	– Aerial Photograph .....	3
Figure 2	– Vicinity Map .....	4
Figure 3	– South View Along Harris Grade Road with Sound Wall and Landscaping .....	10
Table 1	– Distribution of Vegetation .....	11
Figure 4	– Distribution of Vegetation Map .....	14
Figure 5	– Off-Site Preservation Area .....	16
Figure 6	– Buffer at Harris Grade Road and Highway 1 Showing Sound Wall .....	17
Figure 7	– Example of Possible Open Space .....	19
Figure 8	– Land Use Plan Map .....	25
Figure 9	– Height Calculation .....	27
Figure 10	– Example of sideyard easement .....	32
Figure 11	– Example of zero lot-line at side yard of attached units .....	33
Figure 12	– Entry Sign on Pilaster .....	36
Figure 13	– Entry Sign on Perimeter Sound Wall .....	37
Figure 14	– Entry Sign Median Monument .....	37
Figure 15	– Entry Sign Near Pedestrian Path .....	38
Figure 16	– Infrastructure Plan Map .....	42
Figure 17	– Collector Road without Parking .....	43
Figure 18	– Residential Street with Parking on Both Sides .....	44
Figure 19	– Private Drive without Parking .....	45
Figure 20	– Typical Street-Plan View .....	45
Figure 21	– Typical Roundabout Design .....	46
Figure 22	– Roundabout Plan View .....	46
Figure 23	– Class II Bikeway and Pedestrian Access Along Harris Grade Road .....	47
Table 2	– Infrastructure Timing Schedule .....	54
Figure 24	– Entry Perspective .....	57
Figure 25	– Pedestrian Path at Entry Feature .....	58
Figure 26	– Suggested Streetlight .....	58
Figure 27	– Typical Street Signs .....	58
Figure 28	– Decorative Water Tower .....	59
Figure 29	– Split Rail Fence .....	59
Figure 30	– Typical Iron Picket/Wood Post Fence .....	59
Figure 31	– Sound Wall along Harris Grade Road and Highway 1 .....	60
Figure 32	– Suggested Mailbox Design .....	60
Figure 33	– Drainage Improvements .....	63
Figure 34	– Example of Well-Executed Massing .....	66

Figure 35 – Example of Desirable Exterior Details .....	66
Figure 36 – Acceptable Garage Integration .....	67
Figure 37 – Unacceptable Garage Integration.....	67
Figure 38 – Acceptable Garage Integration .....	67

## ***I. THE BURTON RANCH SPECIFIC PLAN***

This Burton Ranch Specific Plan has been prepared for the area in northern Lompoc Valley commonly known as the “Wye.” The Burton Ranch is an approximately 149-acre area bounded by Highway 1 – Casmalia Road to the south and west, Harris Grade Road to the east and the Burton Mesa Ecological Reserve to the north. The Burton Ranch is largely vacant land, with a few scattered homes on small parcels.

This area is presently located in the unincorporated area of the County of Santa Barbara and is proposed for annexation to the City of Lompoc. It is intended that this Specific Plan will be processed concurrently with the annexation.



The major landowners in the Burton Ranch are the Signorelli family, Lompoc Ranch Joint Venture, and The Towbes Group, Inc., which own approximately 100 acres (known herein as Plan Unit 2), Harris Grade Partners, LP, which owns approximately 32 acres (known herein as Plan Unit 1) and the McCarthy/Jensen families, who own approximately 12 acres (known herein as Plan Units 6 and 8). The Burton Ranch consists of 8 separate landowners. All parcels within the Burton Ranch, including the remaining Plan Units shown in Figure 1 (known herein as Plan Units 3,4,5 and 7) are proposed for annexation to the City of Lompoc and will be governed by The Burton Ranch Specific Plan.

### ***Purpose of The Burton Ranch Specific Plan***

The Burton Ranch represents a unique opportunity to creatively master plan the largest contiguous property in the Lompoc Valley zoned for residential development. The objectives of The Burton Ranch Specific Plan are:

- ❖ Avoid piecemeal development by master planning a large contiguous area prior to individual property owners seeking their own development project approvals.
- ❖ Provide for coordinated development policies for the Burton Ranch that will result in a high quality, aesthetically pleasing development pattern.
- ❖ Supplement the City of Lompoc’s zoning ordinance and subdivision regulations to provide for development standards that are more appropriate for the Burton Ranch’s semi-rural environment than the urban standards that apply to the rest of the City.
- ❖ Allow for comprehensive environmental review of all potential development in the Burton Ranch to ensure that impacts that could result from development of separate properties are considered as a whole and mitigated appropriately.
- ❖ Create a sense of “place” for the Burton Ranch that has its roots in Lompoc’s early development history. The Burton Ranch should not be known as a collection of different subdivisions, but rather a variety of housing types cohesively designed to be a desirable community with a connected identity.

The Burton Ranch Specific Plan will be adopted by the City of Lompoc by ordinance so that the development standards contained herein will achieve the above objectives by becoming the actual development regulations that apply to development in the Burton Ranch.

Specific plans are required by law to be consistent with the General Plan, and Section X in this document demonstrates this Plan’s consistency with the City of Lompoc’s General Plan. However, in instances where the provisions of The Burton Ranch Specific Plan are contrary to zoning regulations, subdivision regulations or other City development standards, The Burton Ranch Specific Plan shall govern.

A comprehensive Environmental Impact Report (EIR) has been prepared for The Burton Ranch Specific Plan and the associated annexation. All of the mitigation measures from Revised Final EIR 02-01 are included in Section XI of this Specific Plan. Additionally, where a Development Standard in this Specific Plan is derived from a specific mitigation measure, the measure is referenced either within or immediately following the standard.





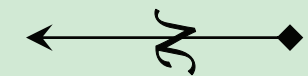


**Aerial Photograph  
Figure 1**

This aerial photograph of Burton Ranch, taken in May 2001, shows boundary lines of proposed Plan Units outlined in red.

St. Mary's Episcopal Church is visible across Harris Grade Road, as is the western edge of the Mesa Oaks Community. The now-closed city landfill and Bedlo Wrecking Yard are seen immediately east of Plan Unit 2. To the west, a portion of Allan Hancock College and Ken Adam Park are visible.

At the time of preparation of this Specific Plan, November 2004, 119 homes were under construction or had been recently completed surrounding St. Mary's Church in the Lane's End and Bluffs at Mesa Oaks projects. Purisima Highlands, consisting of 121 homes at the southeast corner of Purisima Road and "H" Street, was completed in 2004.





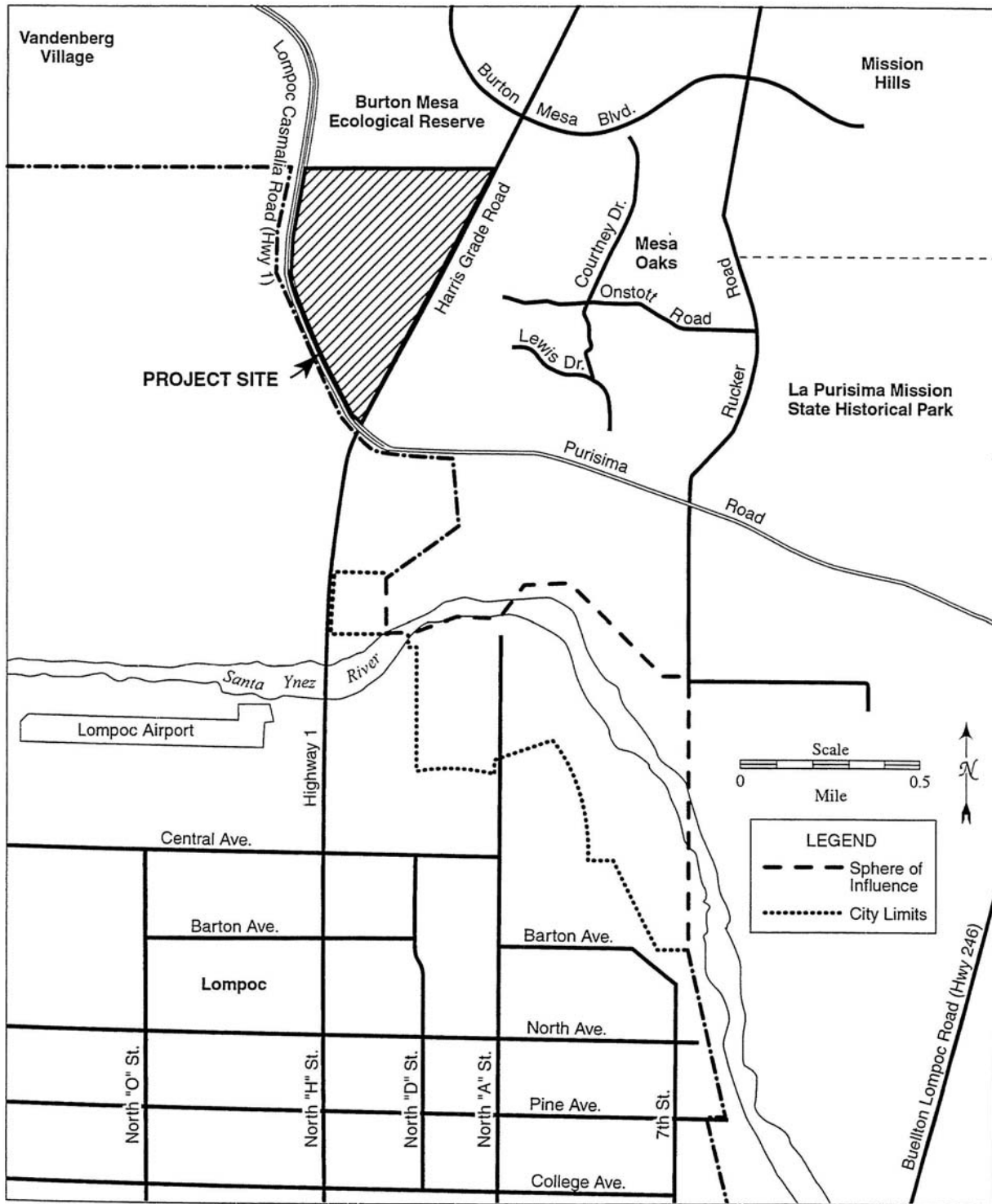


Figure 2 – Vicinity Map

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## ***II. HISTORY OF THE BURTON RANCH AND SURROUNDS***

The Burton Ranch Specific Plan draws much of its design inspiration from early Lompoc history, from the ranch-era days following the fall of Spanish rule in California to the Craftsman bungalow era homes built in the Lompoc Old Town area south of Ocean Avenue.

### ***The Early Days***

In 1787, the Mission La Purisima was established, and the Burton Ranch was part of the Mission lands at that time. During the late 1700's the area produced large crops of wheat, beans and barley. In the early 1800's, the Mission lands supported thousands of sheep, cattle and horses, and it is likely that the Burton Ranch was used as grazing lands for that livestock. Indeed, cattle grazing continues in the Burton Ranch to this day.



With the end of Spanish rule in California in 1822, entrepreneur landowners became aggressively involved with land that was split off from the Mission. The Burton Ranch was part of that trend. In the 1840's, the Burton Ranch was part of a larger property known as Rancho Mission Vieja and was owned by Jose Carrillo, a member of the Carrillo family who prominently figured in Santa Barbara's early military history. At about this time, a beaver trapper named Lewis T. Burton settled in Santa Barbara County to pursue sea otter, among other

entrepreneurial ventures. Lewis Burton began purchasing land nearby Carrillo's ranch, largely buying property tax foreclosure sales. The Burton Mesa and the species of chaparral it supports are named after this man.

At the time of the Civil War, the Carrillos decided to sell Rancho Mission Vieja to Thomas W. More. The More family owned Santa Rosa Island, as well as a wharf and a bituminous shale mine in the area now known as More Mesa in Santa Barbara. The Civil War drove up prices of wool and gave further impetus to sheep raising throughout the County and in the Burton Ranch area.

### ***The "Dry" Days***

Lompoc was founded in the 1870's as a temperance colony by transplanted Santa Clara and Santa Cruz residents, who founded and managed the Lompoc Valley Land Company until its failure in 1879. At about this time, the Harris family and the Howerton family figure prominently in the history of Lompoc and the Burton Ranch area. A railroad stop over the hill in the Los Alamos area

was originally named after the Harris family, and for this reason, today we know the road to Los Alamos as Harris Grade Road.

The Howertons owned property in the Burton Ranch in the late 1800's to the early 1900's. Of the many descendants of the early Howerton clan still living in Lompoc, Eldon Howerton and his family were masonry contractors who owned and lived on Plan Unit 1 of The Burton Ranch Specific Plan area in the 1950's and 1960's. Their home still remains at 3001 Harris Grade Road, which was originally part of Plan Unit 1. Eldon Howerton likely leased the land out for agricultural purposes.



The lands surrounding the Burton Ranch were popular in the pre-World War II era because of a “dude ranch” that catered to Hollywood types in the 1930's. The dude ranch was owned by Edwin Marshall and was known as the “Marshallia Ranch.”

The southern portion of the Burton Ranch was owned by the Robert Smith family up until the beginning of the United States' involvement in World War II, at which time the government purchased the land, incorporating it into Camp Cooke. The area was apparently to be used by the military as living quarters for the troops, but with the end of the war occurring shortly after the land was purchased by the government, the project was abandoned. Title records show that Mr. Smith sold the land to the Army for \$15,500 in 1941 and bought it back seven years later for \$3,000. To this day, survey markers on the property identify the land as Camp Cooke.

In addition to his land holdings in the Burton Ranch, Robert Smith was a builder. He constructed several of the Craftsman style homes in the area below Ocean Avenue around 1920.

### ***The Modern Days***



In more contemporary times, the Burton Ranch has had perhaps a less colorful history. The lower portion of the Burton Ranch was cultivated in the 1950's and 1960's (during Eldon Howerton's ownership), with cattle grazing on the upper portions of the Burton Ranch. A water well in the Burton Ranch, which may be the one still in existence on the lower portion of Plan Unit 1, was said to produce the most pure water in the entire Lompoc Valley. People would come from town with their buckets in hand to purchase “soft” water.

During the 1960's and 1970's, several small homes were constructed in the lower portion of the Burton Ranch. Those homes have since been demolished, and remnants of foundations, floor tiles

and septic tanks are still visible today. In addition to the home at 3001 Harris Grade Road, the only other structure remaining on that part of the original Howerton property is the former gas station at the corner of Highway 1 and Harris Grade Road.

### ***Inspiration for The Burton Ranch Specific Plan***

The inspiration for the design standards for The Burton Ranch Specific Plan is rooted in the urban history of Lompoc. In the early 1900's, when much of the old town area was developed, Craftsman bungalows and ranch style homes were the norm. These early homes, while lacking many amenities of the modern home, have a charming appeal because of the variety of design details such as wide front porches, dormer windows, shutters, "woody" facades, and lack of prominent garage doors. These icons of the Craftsman bungalow era create a rich development



character. Older streets, while not always narrow, usually feature parkways where street trees are now fully mature, creating desirable canopies that add much character to the street scene. Old-fashioned street lights in many areas increase the nostalgic feeling of how things were built in "the good old days."

The Burton Ranch Specific Plan seeks to create a development pattern that reminds us of the architectural high

points of an earlier era. While The Burton Ranch Specific Plan recognizes that we do not, indeed cannot, build the way neighborhoods once were built, this plan borrows themes, concepts and landmarks that will make modern development reflect the quality and character of a bygone era.

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### **III. ENVIRONMENTAL RESOURCES & CONSERVATION**

#### ***Natural Features***

The topography of The Burton Ranch Specific Plan area generally slopes from north to south, with small portions in the northern area of Plan Unit 2 that slope to the north and west. The northwestern corner of Plan Unit 2 contains a bluff with steep slopes to Highway 1.

Many locations within The Burton Ranch Specific Plan area have excellent views to the south. The site is also very visible from the public view corridors of “H” Street, Harris Grade Road, La Purisima Road and Highway 1, except for some of the northern portions of Plan Unit 2, which



are flat enough that they cannot be seen from lower elevations. Harris Grade Road is designated a “Scenic Vista” in the City of Lompoc General Plan. The City’s General Plan contains a number of policies that require new development to respect scenic features of the site. Therefore, development standards are provided to ensure a desirable aesthetic effect and consistency with the General Plan.

*Figure 3 - South View Along Harris Grade Road with Sound Wall and Landscaping*

The Burton Ranch contains a mix of plant communities. The approximate locations of these plant communities are depicted in the Distribution of Vegetation Map (Figure 4) with a detailed breakdown by Plan Unit shown in Table 1. The communities depicted in Figure 4 and the acreage listed on Table 1 are not intended to be precise boundaries of each sensitive area, but rather the approximate size and location of these areas.

- ❖ Chaparral and non-native grassland areas make up a large portion of The Burton Ranch Specific Plan area. These areas are remnants of the past agriculture and present cattle grazing.
- ❖ Coast Live Oaks are prevalent in the middle and northern portions of the Burton Ranch (Plan Units 1 and 2). Conservation development standards are provided to conserve Coast Live Oaks and to place emphasis on conservation of the most desirable trees.

- ❖ Burton Mesa Chaparral is located in the northwest corner of Plan Unit 1, on most of the western portion and about two-thirds of the eastern portion of Plan Unit 2, in the southern and western portions of Plan Unit 5 and in very small quantities in the northeast corner and southern portions of Plan Unit 7. Burton Mesa Chaparral is also located on most of Plan Units 6 and 8. The chaparral on Plan Unit 1 is isolated from any other chaparral areas and is considered a low priority for conservation. The chaparral on Plan Unit 2 reflects a variety of quality, and on-site conservation is confined to areas that are contiguous with the Burton Mesa Reserve to the north. The chaparral on Plan Units 5 and 7 is considered low quality, though it appears to be recovering, and the chaparral on Plan Unit 6 is considered to be of moderate quality, but it supports a diversity of species corresponding to mature Burton Mesa Chaparral; including Sand Mesa Manzanita and La Purisima Manzanita. Plan Unit 8 contains mostly mature Burton Mesa Chaparral, with a small cluster of perennials and ornamental trees in the southwest corner.

**Table 1 – Distribution of Vegetation**

<i>Habitat</i>	Plan Unit								<i>Burton Ranch Total Existing</i>
	1	2	3	4	5	6	7	8	
Burton Mesa Chaparral	5	74			1	2.5	1.5	9	93
<i>Mature Phase</i>	5	56			1			9	71.0
<i>Coast Live Oak Phase</i>		9.5							9.5
<i>Black Sage Phase</i>		5							5
<i>Goldenbush Phase</i>		3.5							3.5
<i>Low Quality Phase</i>						2.5	1.5		4
Oak Savanna		14.5							14.5
Coastal Scrub	5	1							6.0
Seasonal Wetland	<0.1								<0.1
Ruderal	3	2							5.0
Disturbed/Developed			1	1	1.5				3
Non-native Grassland	19	8.5							27.5
<b>Total</b>	<b>32</b>	<b>100</b>	<b>1</b>	<b>1</b>	<b>2.5</b>	<b>2.5</b>	<b>1.5</b>	<b>9</b>	<b>149</b>

Sources: GANDA 2000, 2001; Olson, 2002; SAIC, field observations 2002 and 2005.

- ❖ The Resource Development Standards place less emphasis on on-site conservation for Burton Mesa Chaparral than for specimen Coast Live Oaks. The Conservation Development Standards provide for a combination of on-site conservation as well as off-site mitigation for Burton Mesa Chaparral.

A vernal swale exists in Plan Unit 1 at the location of the existing drainage inlet. The drainage depression, which is less than 1/10<sup>th</sup> acre in size, does not meet the criteria for a federal jurisdictional wetland and does not have a defined bed and banks, so it is not subject to the California Department of Fish and Games' Lake and Streambed Alteration Program. However, it does appear to support some species of plants found in wetlands and is therefore considered a

seasonal wetland and may be subject to other state or local jurisdiction (see Revised FEIR Appendix D-2). There are no reported State or Federally listed threatened or endangered species of plants or animals known to inhabit the Burton Ranch.

The Land Use Plan incorporates a sound wall along the Highway 1 and Harris Grade Road frontages of the Specific Plan area to mitigate noise impact (See Revised FEIR NOISE 2-A). The sound wall will be designed to be of a rustic character and will feature staggered setbacks from the road. Berms and ornamental landscaping will be used to achieve an aesthetically desirable effect that will be consistent with City General Plan policies for development along a “Scenic Vista” (see Figures 3, 6, 23 and 31, and RES-3 and RES-6).

Soils in The Burton Ranch Specific Plan area are easily eroded if grading is not properly designed and managed. Grading Development Standards have been created to address this issue, as well as to place standards on grading design to ensure aesthetically pleasing development concepts.

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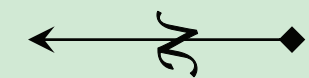
**Distribution of Vegetation**  
**Figure 4**

**Legend**

- BMC = Burton Mesa Chaparral
- g = Goldenbush Phase
- o = Oak Phase
- s = Black Sage Phase
- m = Mature
- CS = Coastal Scrub
- OS = Oak Savanna
- G = Grassland
- E = Eucalyptus
- Or/BMC = Ornamental Trees and Perennials with Burton Mesa Chaparral Mix
- R = Ruderal (weed dominated)
- Ds = Disturbed Areas
- Dv = Developed Areas
- P = Man-made Pond (Dry)
- VS = Vernal Swale
- △ = Location of Hoover's bent
- △ grass

(BMCm\* The BMC in the northwest corner of Plan Unit 1 is a mature phase, but is considered to be of moderate quality because it is isolated from other areas of mature BMC. Also, the BMCm in Plan Unit 6 is of moderate quality but supports a diversity of species corresponding to mature BMC, including Sand Mesa Manzanita, and La Purisima Manzanita.)

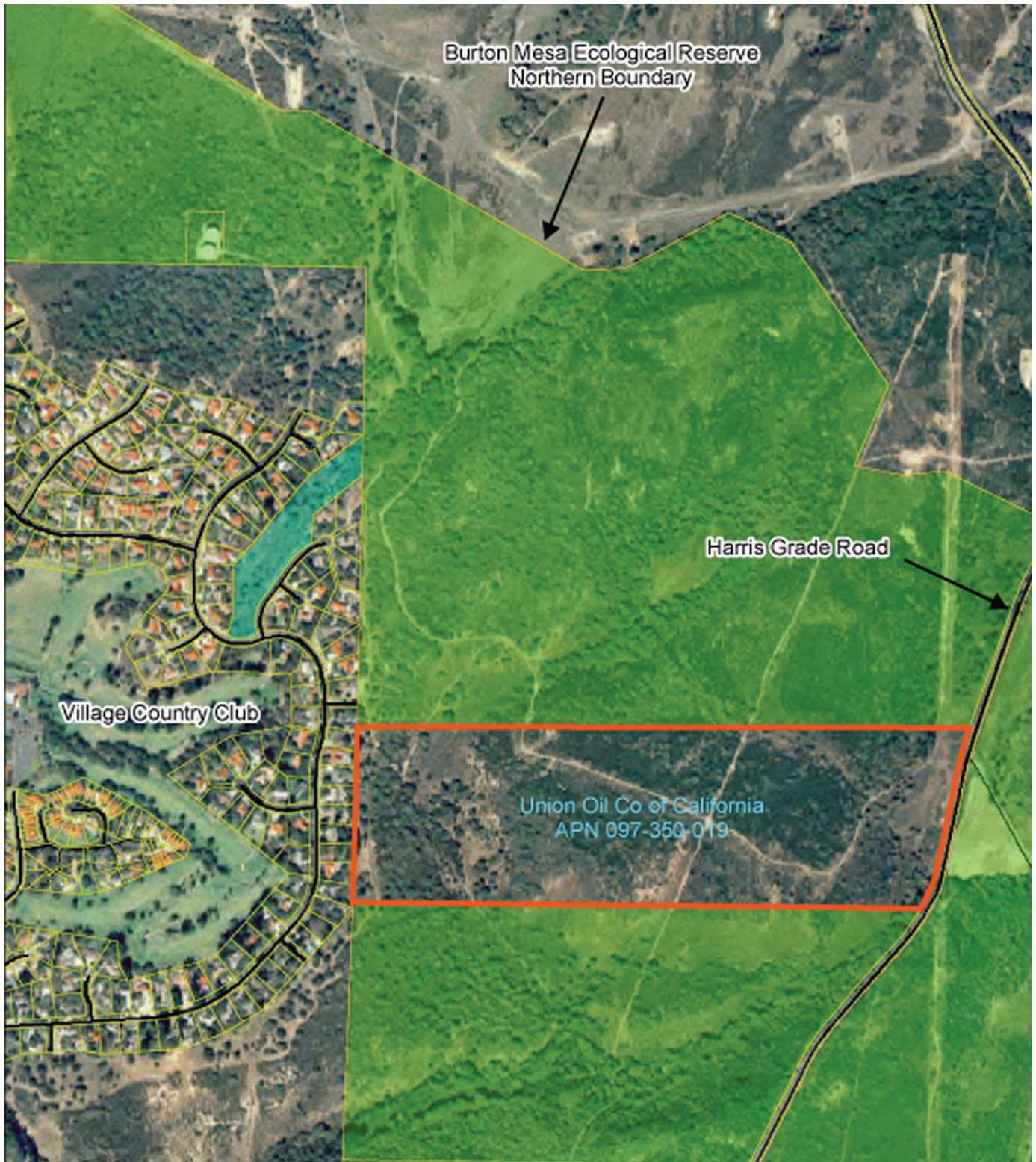
See Table 1 for vegetation acreage by plan unit.





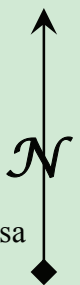
## ***Resource Conservation Development Standards***

- RES - 1. In order to offset the loss of on-site Coast Live Oaks and Burton Mesa Chaparral, the project will dedicate the Burton Mesa Chaparral and oak woodland on 95 acres of the 100-acre Unocal land at Harris Grade Road/Rucker Road (See Figure 5). This dedication will permanently preserve a comparable amount of sensitive habitat, either as a donation to the Burton Mesa Ecological Reserve (BMER) or through the recordation of a permanent conservation easement on the property. An Off-site Burton Mesa Chaparral Habitat Acquisition and Preservation Plan will be submitted for review and approval by the City of Lompoc, unless the Department of Fish and Game assumes management of the mitigation area. [See Revised FEIR mitigation measures BIO 1.2 and BIO 3.2a through BIO 3.2f] for complete mitigation requirements and details].
- RES - 2. The Revised FEIR has identified mitigation measures that would reduce impacts to native habitats resulting from future residential development of the Purisima (Unocal) mitigation site (see BIO 3.2a-f). Although these mitigation measures are recommended for preservation of the Purisima mitigation site habitats outside of the residential envelope, it should be noted that these measures are subject to review by the agency accepting management responsibility for the open space easement and may be modified and/or refined as such agency deems appropriate.
- RES - 3. Except for the undisturbed buffer area at the northern boundary of Plan Unit 2 (as specified in RES-3), the 88 acres of off-site Burton Mesa chaparral habitat preserved on the Unocal site shall be considered complete mitigation of impacts from development of Plan Units 1 and 2. Mitigation site habitat acreage in excess of the 79 acres necessary for Plan Units 1 and 2 (excess of 9 acres) may be sold to the owners of the other Plan Units to address Specific Plan buildout impacts in these areas.[BIO-1.1a]
- RES - 4. A minimum 100-foot BMER buffer shall be provided between the northern property line of Plan Unit 2 and any activities associated with project development. A solid, 6-foot high buffer wall constructed of non-combustible material shall be erected along the 100-foot buffer boundary to prevent access and to protect the buffer area and adjacent BMER. Vegetation removal, ground disturbance, human access, fire management, or other actions associated with construction or occupancy of the project site shall be prohibited within the BMER buffer. Additional structural setbacks for fire safety shall be provided as addressed in Public Services Standard PS-4. For full details of this mitigation measure please see BIO-1.1b.
- RES - 5. Proposed structures within 300 feet of State Highway 1 and 185 feet of Harris Grade Road shall incorporate noise attenuating building materials such as solid core doors, double-paned glass windows, or other suitable noise-attenuating features to ensure that interior noise levels, including second stories, do not exceed 45dBA CNEL. [NOISE-2b]



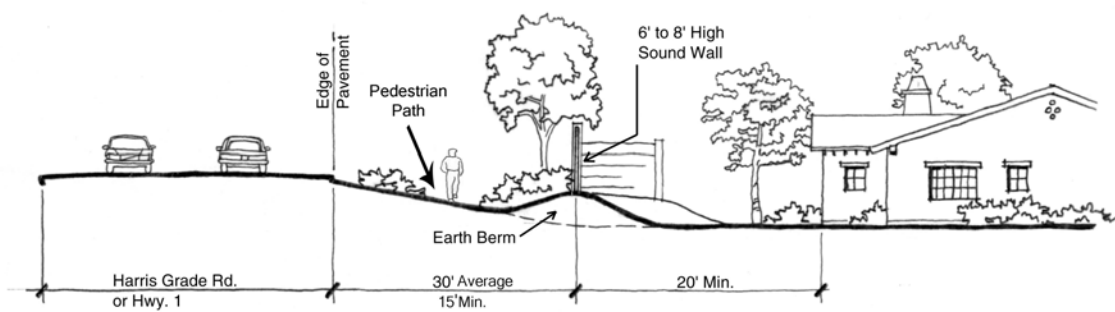
*Off-Site Preservation Area*  
*Figure 5*

This photograph shows the location of the Unocal property intended for off-site preservation of Burton Mesa Chaparral, in relationship to the existing Burton Mesa Ecological Reserve.



RES - 6. In order to ensure that development respects existing scenic vistas, walls constructed along Harris Grade Road and Highway 1 shall be designed consistent with the illustration in Figure 6. Walls shall be set back sufficiently to accommodate perimeter landscaped buffers and shall be staggered to promote high-quality visual interest and minimize the continuous form and massing as experienced from scenic roadways. Walls shall vary in height between six and eight feet high from finish grade and be placed atop landscaped berms when the natural grade at the wall location is below street grade. Walls shall have a rustic, ranch character, and may be constructed of heavy wood planks and posts, stone, or split faced concrete block with a decorative cap (see Figure 31). Alternate materials may be approved by the Planning Commission. The applicant shall submit color and material samples to the City of Lompoc for approval. Non-invasive vines attached to the wall are encouraged. Bikeway and pedestrian trail details are provided in Figure 23. [AES-3.2.1]

RES - 7. Landscaped Perimeter Buffers shall be provided along Harris Grade Road and Highway 1 with an average 30-foot setback and a minimum 15-foot setback from the edge of final roadway pavement to the sound wall (See Figure 6). The buffer shall be landscaped as a common amenity. A Perimeter Landscape Plan shall require the spacing and clustering of a variety of street trees, accent trees, and ornamental shrubs capable of completely screening the residential structures from views from the public right-of-way. Maximum screen height shall be kept proportional and in scale with the heights of the adjacent residential structures. Screen tree species shall generally achieve a height between 20 and 25 feet at maturity, however trees with higher canopies shall be allowed to achieve a varied landscaping height. Perimeter landscaping plant species shall maximize rapid growth and have the ability to mature in partial shade, assuming some level of sun shading from upper tree canopies. All Harris Grade Road and State Highway 1 street frontage landscaping shall provide a mix of species up to a 36" box size, and any oak trees proposed near residences shall be a minimum 24" box size to provide adequate screening. Where private lots abut the landscaped perimeter buffer, homes should be set back a minimum of 20 feet from the lot line adjacent to the buffer, with the desired result of an average 50-foot buffer from Harris Grade Road to any new residential structures. [AES 1.2 & AES-3.2.2]



**Figure 6 – Buffer at Harris Grade Road and Highway 1 Showing Sound Wall**

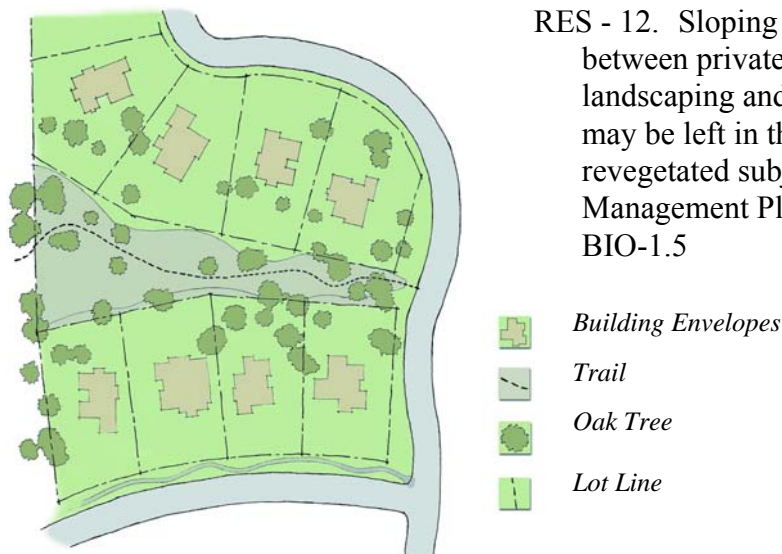
- RES - 8. An Oak Tree Protection and Replacement Plan shall be prepared by a City-qualified arborist to address the loss of “specimen” oak trees (i.e., greater than 6” in diameter at breast height [DBH]) as a result of buildout in Plan Unit 2 that are not otherwise compensated for through acquisition and preservation of Burton Mesa chaparral and oak savannah habitat. The plan shall include the location and extent of the oak tree driplines and the type and location of any protective fencing for those specimen trees designated by the Oak Tree Protection and Replacement Plan for preservation in Plan Unit 2 that are outside of proposed grading for residential structures, roadways, and landscaping. Any individual project site specimen oak trees that are to be preserved according to the proposed Oak Tree Protection and Replacement Plan that are inadvertently damaged or killed by construction grading, filling, heavy equipment operation, or new landscaping shall be mitigated in terms of their lost habitat area, as determined by the City of Lompoc Urban Forester. For specific details of this mitigation measure please see BIO-3.1.
- RES - 9. To preserve the maximum number of mature Coast Live Oaks on the site as possible, development plans outside of Plan Unit 2 shall be designed to preserve oaks on the site that are healthy and have minimum trunk diameters of 10 inches or larger at breast height. This shall be accomplished by avoiding the removal of as many oaks as is practical, while accommodating the development objectives of this Specific Plan. Highest conservation priority shall be given to mature, healthy specimens or ones that relate well to a particular grouping of trees. Preservation of oaks on private lots is encouraged. Oaks with diameters of 10 inches or larger that are to be preserved or removed will be designated on development plans.
- RES - 10. In addition to the tree-protection mitigation measures required by the Burton Ranch Specific Plan EIR, where grading occurs near oak trees to be preserved, all efforts shall be made to design grading to occur outside the dripline of the oak tree. Oaks may be trimmed to 10 feet from ground surface for purposes of defining the dripline. In instances where grading must encroach under the dripline of an oak tree in order to save the tree from removal, grading plan design shall follow these recommendations:
- a. No earth disturbance of any kind is allowed in the circular area one-third the distance of the overall canopy as measured from the trunk, or if the tree contains multiple trunks, from the edge of the trunk cluster. For example, if the radius of the canopy is 27 feet, no disturbance is allowed within 9 feet of the trunk.
  - b. Retaining walls must be located no closer to the tree than this standard allows.
  - c. If paving or other impermeable surface encroaches into the canopy, no greater than 25% of the total area beneath the canopy may be covered. In the event that roots larger than 3 inches in diameter are encountered during grading or trenching operations, they shall be cleanly cut and sealed.
  - d. The tree canopy should be no closer than five feet to any structure, except



retaining walls.

- e. Protective temporary fencing shall be located around each tree or groups of trees that are scheduled for preservation. The fencing should be located at the dripline of the tree, unless work is to take place within the dripline, in which case the fencing must be no closer than 6 feet to the trunk of the tree. The fencing shall not be removed until completion of grading.
- f. No construction equipment, vehicles or materials of any type shall be stored or staged within the dripline of an oak tree.
- g. Any alteration of grades shall result in positive drainage away from the tree.

RES - 11. Property owners shall be entitled to receive permits for selective brush removal trails (outside of Land Use Area 7 and the 100-foot BMER buffer), 8-10 feet wide, for purposes of identifying trees for preservation, in preparation of tentative maps and development plans.



RES - 12. Sloping open space areas may be created between private lots to provide common landscaping and trails (see Figure 7). These areas may be left in their natural state or be graded and revegetated subject to a Landscape and Open Space Management Plan as detailed in Mitigation Measure BIO-1.5

**Figure 7 – Example of Possible Open Space**

RES - 13. Land Use Area 7 will remain undeveloped and will be identified on all future tentative and final parcel and/or tract/subdivision maps as an unbuildable site.

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## ***IV. THE LAND USE PLAN***

### ***Character***

The Burton Ranch is a semi-rural area. For many years it has been zoned for residential uses, and a substantial amount of land surrounding it is developed with housing, Allan Hancock College and Ken Adam Park. However, the Burton Ranch is a large area of open land, and it is an objective of this plan to keep a semi-rural atmosphere in its developed condition.

The existing County of Santa Barbara Comprehensive Plan designation for the site is Urban RES-4.6 (Residential, maximum 4.6 units per acre). The proposed General Plan Amendment would amend the land use designation of Plan Unit 2 to LDR-2.5 (Low Density Residential, maximum 2.5 units per acre) and all other Plan Units to LDR-4.6 (Low Density Residential, maximum of 4.6 units per acre).

The Land Use Plan Map (See Figure 8) designates developable areas based on topography, drainage, and environmental features. The average slope of Plan Unit 1 is 4.7% and the average slope of Plan Unit 2 is 5.2%. On Plan Unit 1, the steepest slopes occur at the northeast property corner, at approximately 11%. On Plan Unit 2, slopes of 12% to 14% occur within the developable area near the northwest property corner. Residential development is restricted on Plan Unit 2 along the northwest property boundary, where slopes from Highway 1 range from 30% to 50% or more.

The Land Use Plan Map and the Infrastructure Plan have been designed to allow avoidance, to the maximum extent feasible, of the topographical constraints and the oak trees that exist in the Burton Ranch, but also provide a reasonable utilization of the land for its existing residential designation.

The Land Use Plan Map has been designed to respect the environmental features of the site by placing higher intensity uses in the southern end of the Burton Ranch, transitioning to lower intensity uses at the northern end, where more constraints are present. The density statistics on the Land Use Plan Map are intended to represent units per gross acre. Gross acreage includes areas set aside as buffers, roadway easements, undevelopable areas, etc. The following is a general description of each Land Use Area:

### ***Land Uses***

**Area 1.** This area is planned to accommodate higher density residential development, at approximately 8-12 units per gross acre. This density is appropriate for apartments or condominiums, or a combination of both. This area of the site is the least constrained by topography and environmental features and is therefore appropriate for higher density. At the property owner's option, the density of proposed development plans may be lower, with uses such as single-family homes.



**Area 2.** This area is appropriate for moderate density residential. At a range of 3 to 5 units per gross acre, Area 2 is appropriate for a range of housing types, including single family homes on standard lots, patio homes on small lots or condominium lots. Detached homes are required in Area 2; any attached units are limited to twin homes (duplexes).

**Area 3.** This area is appropriate for low density residential at a range of 2 to 3 units per gross acre. Typical uses would include single-family homes on lots averaging 8,000 square feet.

**Area 4.** This area is appropriate for very low density residential, at a range of 1 to 2 units per gross acre. Typical uses would include single-family homes on lots averaging 15,000 square feet.

**Area 5.** This area is the school site set-aside. In the event that the Lompoc Unified School District declines to accept the site or the property owner is unable to negotiate acceptable terms with the School District, then this area will be considered part of Area 3.

**Area 6.** This area provides for an on-site passive park. Amenities to be provided in the park will be determined by the property owner in consultation with the City of Lompoc. It is envisioned that the passive park will preserve a stand of oak trees on Plan Unit 1, with an open turf area north of it on Plan Unit 2.

**Area 7.** This area preserves land constrained with steep slopes.

Although the overall density for the property is 4.6 units per acre, allowing greater density in some areas (i.e. 8-12 units per acre in Land Use Area 1 and 3-5 units per acre in Land Use Area 2) encourages the clustering of residential units. By clustering portions of the residential development, the number of residential units permitted in The Burton Ranch Specific Plan can be constructed in a smaller area, allowing for common open spaces, such as perimeter landscape buffers, a passive park (Land Use Area 6), and a conservation area on Land Use Area 7.

### ***Land Use Development Standards***

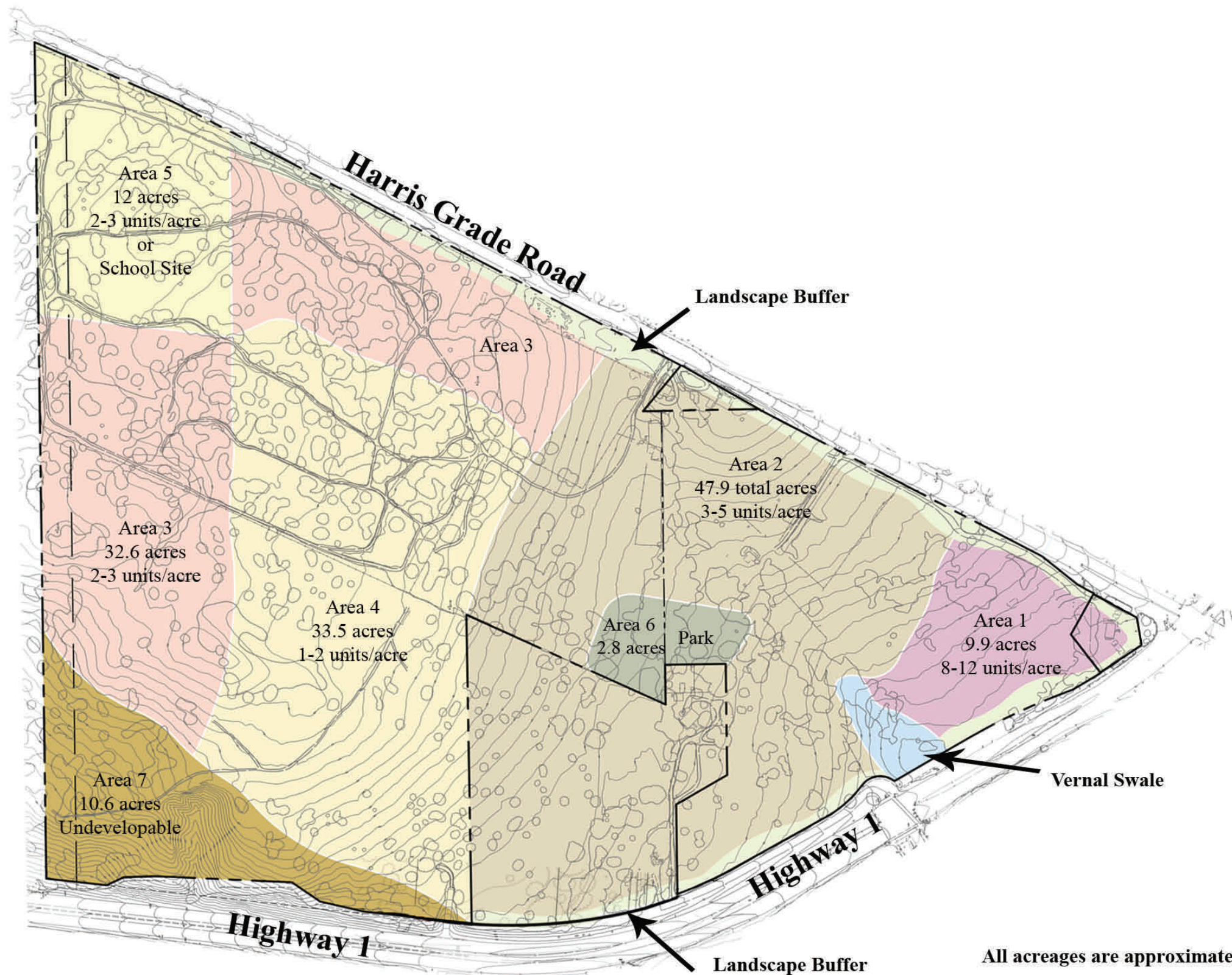
LU - 1. The overall residential density of The Burton Ranch Specific Plan area shall be limited to no more than 4.6 dwelling units per acre in accordance with the overlap Annexation Agreement Between the City of Lompoc and the Mission Hills Community Services District, dated May 2, 2000. The total residential development on all plan units shall be no greater than 476 residential units, regardless of whether Area 5 is developed as a school site. Plan Unit 1 shall be developed with no more than 150 residential units and Plan Unit 2 shall be developed with no more than 250 residential units except that a transfer between plan units of less than 10 percent of the total number of units allowed on both plan units is allowed. The remaining Plan Units in The Specific Plan area shall have a density no greater than 4.6 units per acre.

LU - 2. Residential development is restricted in the northwest boundary of Plan Unit 2 near the bluff. In that area, development will be limited to installation of utilities and restoration or enhancement of drainage or environmental features. Structures shall be set back

from the top of the bluff as recommended by the project civil engineer as individual tentative maps and development plans are submitted. Drainage structures designed to minimize erosion of the bluffs are not subject to these setbacks.

- LU - 3. Residential development is restricted in the area of the existing drainage basin (vernal swale) on Plan Unit 1. In this area, development is limited to installation of drainage facilities, utilities and landscaping and fencing or restoration and enhancement of the drainage area.

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All acreages are approximate

**Land Use Plan Map  
Figure 8**

The Land Use Plan Map identifies the various allowed uses and densities in The Burton Ranch Specific Plan Area. The approximate gross acreage and corresponding density range of each Area is noted on the map.

Density Ranges are intended to allow flexibility in design. The total residential units in the Burton Ranch Specific Plan area would not exceed 476. Refer to the Specific Plan text for a more detailed description of the Land Use Areas.

## ***V. ZONING***

As of the preparation of this Specific Plan, the existing County of Santa Barbara zoning for the entire Burton Ranch is “Design Residential-4.6.” This zoning allows a variety of housing types that can generally be configured in any manner, with the limitation that the overall density not exceed 4.6 units per acre.

The SP zone district, to be adopted concurrently with the Burton Ranch Specific Plan, will provide for site-specific development standards in an effort to allow maximum design flexibility and aid in creative planning and high-quality development.

### ***Intent***

The SP zone district is designed and intended to provide for the systematic implementation of General Plan goals and policies for particular areas of the City that require a more comprehensive and intensive evaluation and planning effort due to their large size, the need to master plan infrastructure, and their unique environmental setting and view sheds.

Specifically, the intent of the SP zone district for the Burton Ranch Specific Plan area is to encourage a variety of housing types and configurations within the overall constraints on the property, including the density limitations of each Land Use Area as identified in the Land Use section of this document.

### ***Procedure***

Property owners shall file subdivision maps and development plans with the City, incorporating all buildings and structures proposed for each particular phase of construction. The subdivision maps and development plans shall be substantially in conformance with the standards contained in the Burton Ranch Specific Plan.

It is the intent of this section that procedures related to initial development in the Burton Ranch Specific Plan area shall follow those procedures of the City in effect at the time the requests are made that generally apply to other permit requests, as they may be amended from time to time, provided that such procedures are not in conflict with the provisions of the Burton Ranch Specific Plan and the Development Agreement. In the event of a conflict, the provisions of the Burton Ranch Specific Plan and Development Agreement shall govern.

The Planning Commission or City Council may approve development plans and subdivision maps that do not meet the standards contained herein, provided that findings can be made that the approved design (1) provides for the orderly development of land in conformance with the comprehensive scheme contemplated by the Land Use Element and other elements of the City’ General Plan and this Specific Plan, while permitting a flexible design approach to the development of a total community environment equal to or better than that resulting from a traditional lot-by-lot land use development, and (2) would result in development standards with a 10% or less change from the standards contained herein. Where no numerical value can be placed on the adjustment, the development plans and subdivision maps may be approved when it

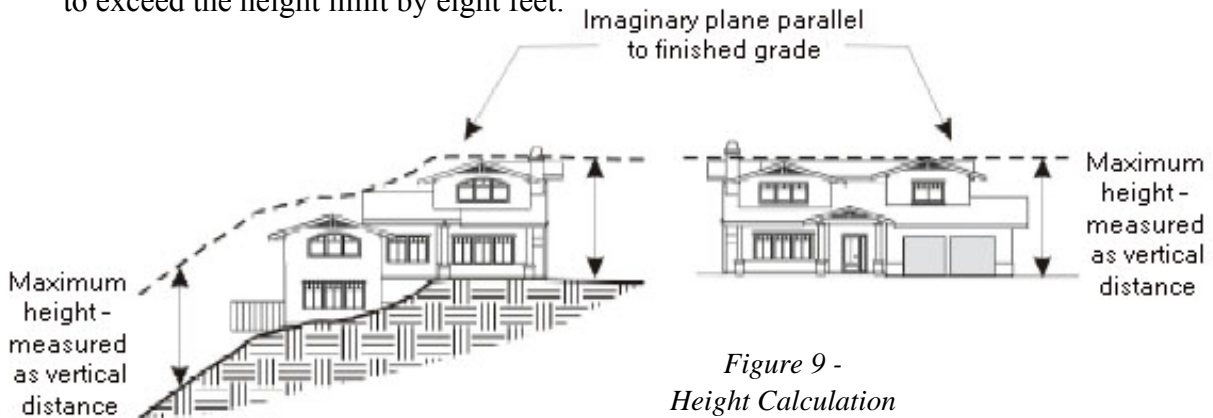


can be demonstrated that the proposed adjustment would enhance the overall appearance or function of the project and would advance the general objectives of this Specific Plan.

The procedure for alterations, remodels and reconstruction of homes after completion of initial development will be those City-wide procedures in effect at the time the request is made, provided that the request meets all development standards of the Burton Ranch Specific Plan. Architectural plans are required to be submitted pursuant to Title 3, Chapter 2, Article 1 of the Lompoc City Code, as it may be amended from time to time.

### ***General Zoning Provisions***

1. Parking. The number of parking spaces shall be provided as required by Chapter 4, Article 1 of the Lompoc City Code.
2. Height. Except as otherwise noted in the Zoning Development Standards section, two-story structures shall be limited to a height of 30 feet and single-story structures shall be limited to a height of 24 feet. The highest roof ridge of each structure shall be designed to fit within the vertical distance between finished grade and an imaginary plane parallel to the finished grade located the allowed number of feet above and parallel to the grade (See Figure 9). The maximum height shall not include mechanical equipment, vents or architectural features such as chimneys, cupolas, monuments, or other decorative projections less than 120 square feet in size. These elements shall be allowed to exceed the height limit by three feet. Design Review approval may allow architectural features to exceed the height limit by eight feet.



3. Affordable Housing. Affordable housing will be provided by each Plan Unit, based on 10% of the total units proposed in each Plan Unit. Units may be constructed on-site or off-site, or in-lieu fees may be paid based on the City of Lompoc's in-lieu fee program. Affordable units shall be consistent with the following requirements:
  - a. Affordability levels of units on-site will be provided as a mix of 1/3 very low (up to 50% of Area Median Income), 1/3 low (50% to 80% of Area Median Income, and 1/3 moderate (80% to 120% Area Median Income). Where fractions result from this formula, the developer shall work with City Planning staff to determine appropriate affordability mix, or fractional in-lieu fees shall be paid in proportion to the fractional unit.

- b. Affordable units will be similar in architectural detailing and exterior features as market rate homes, but are not required to be the same size as, or have the same level of interior finishes as, the market rate homes.
  - c. Bathrooms for Affordable Units shall be provided on the same floor as the bedrooms are located.
  - d. Affordable rental units would be a mix of 1 and 2 bedroom units, and affordable ownership units would have a minimum of 2 bedrooms. Maximum sales or rental prices will be adjusted by bedroom count.
  - e. A minimum of 10% of affordable units or in-lieu fees on a cumulative basis shall be provided for each development approval. Affordable units built on-site will be dispersed within the higher density areas for each Plan Unit (i.e., Land Use Areas 1 2 and 3). Affordable Units within Plan Unit 2 shall be dispersed within Land Use Areas 2 and 3.
  - f. In Land Use Area 1, affordable units constructed on-site may be provided as apartments or attached condominiums, unless the market rate units proposed in this area are single family homes, in which case affordable units may be provided as duplexes, triplexes or single family homes. In Land Use Areas 2 and 3, affordable units constructed on-site may be provided as duplexes, triplexes or single family homes, subject to Planning Commission approval. Developers proposing affordable units as duplexes and triplexes in Land Use Areas 2 and 3 must demonstrate during the design review stage that the duplexes and triplexes have been carefully incorporated into the development project.
4. Modifications. Modifications or Amendments to any development standards in this section may be granted subject to the requirements specified in the Implementation Section of this Plan and only if the finding can be made that the modification meets the overall intent of the zoning development standards and architectural development standards as described in this Plan.
5. Conditional Use Permit. Uses allowed with a Conditional Use Permit in the Burton Ranch Specific Plan area (Land Use Areas 1-5) are schools (public or private), day care facilities and churches. The procedures for filing and approval of Conditional Use Permits shall be as provided in Chapter 7, Article 1 of the Lompoc City Code.

## ***Zoning Development Standards***

The standards contained in this section constitute the primary zoning provisions for The Burton Ranch area. If there is a conflict between this plan and the regulations of the City of Lompoc Zoning Ordinance or City Subdivision Ordinance section 2866.F, which regulates condominium development, the standards provided herein shall prevail. For instances where guidance is not provided in this Plan, the provisions of the City Ordinances shall apply. Unless otherwise defined, all terms are subject to the definitions contained within the City of Lompoc Zoning Ordinance

### **A. LAND USE AREA 1**

#### **I. Permitted Uses.**

1. Multi-family and single family homes.
2. Accessory structures associated with single family and multi-family uses such as garages, carports, common buildings, and rental offices.
3. The non-commercial keeping of up to four household pets, excluding farm animals.
4. Home occupations subject to a Home Use Permit as set forth in the City Zoning Ordinance.
5. Recreational facilities provided in conjunction with residential development.

#### **II. Design Standards**

##### **A. General Standards**

1. Maximum density shall not exceed 12 units per gross acre, provided that the overall density of Plan Unit 1 does not exceed 150 dwelling units.
2. Maximum coverage of buildings, parking areas, driveways and roads shall not exceed 60% of the project area.
3. Two-story structures shall be limited to a height of 30 feet and single-story structures shall be limited to a height of 24 feet. Height shall be measured as shown on Figure 9.
4. The second floor area of two-story structures within 100 feet of Harris Grade Road and Hwy 1 shall not exceed 50 percent of the first floor area, shall be stepped back from the first-floor walls, and shall be oriented away from the adjacent roadways to break up building mass as experienced from the roadways. [AES-3.2.4]
5. A minimum of 15% of the project area shall be provided as landscaped common open areas.



B. Standards applicable to attached residential development:

1. Minimum setbacks shall be as follows:
  - a. Dwellings and accessory structures shall be set back 50 feet from the edge of pavement of Harris Grade Road and Hwy 1, upon completion of roadway improvements developed as part of the Burton Ranch Specific Plan improvements; and
  - b. Dwellings and accessory structures shall be set back 10 feet from Residential Streets and 5 feet from Private Drives, alleys or shared parking areas. Minimum setbacks for dwellings from exterior project boundaries shall be 15 feet; and
  - c. Accessory structures such as detached garages and carports, covered patios and second story decks shall be located 15 feet from project boundaries.
  - d. Accessory structures such as sheds, trellises and gazebos shall be located 5 feet from project boundaries.
  - e. Walls and fences up to 6 feet in height, and decorative landscaping and related structures up to 42 inches in height (including decks and fountains) shall not be considered structures for the purpose of this standard and shall not be subject to setbacks from project boundaries; and
  - f. Dwellings shall be located no closer together than 10 feet for one-story elements and 15 feet for two-story elements.
2. Private outdoor space shall be provided for each dwelling unit. The minimum area per unit shall be 80 square feet for first floor patios or 50 square feet for second floor decks and balconies. The private space shall be enclosed with fencing, walls or if located on a second floor, shall be provided as an exterior deck. This requirement shall not apply where an acoustical study performed in connection with a development plan determines that the location of such outdoor space would exceed recommended noise levels.
3. Residential units shall be designed with a minimum of 120 cubic feet of enclosed storage space. Storage space may be provided as enclosed outdoor storage or within an oversized garage or carport structure.

C. Standards applicable to detached residential development:

1. Minimum setbacks shall be as follows:
  - a. Dwellings and accessory structures shall be set back 50 feet from the edge of pavement of Harris Grade Road and Hwy 1, upon completion of roadway improvements developed as part of the Burton Ranch Specific Plan improvements; and
  - b. Where dwellings are designed with a condominium map, the minimum front setback of dwellings and accessory structures from a Residential Street shall be 10 feet, and the minimum setback from a Private Drive, alley, or shared parking area shall be 5 feet. Minimum setbacks for dwellings from exterior project boundaries shall be 15 feet. Dwellings may be located no closer together than 5 feet at one story elements and 10 feet at two story elements; or
  - c. Where dwellings are planned as PUD lots (i.e., common areas are provided in

addition to lots), the above setbacks for dwellings and accessory structures from Residential Streets, Private Drives, and alleys shall apply, and the minimum setback of dwellings from lot lines shall be 3-1/2 feet. Side yard easements are encouraged to promote usability of side yards provided that privacy measures benefiting the dwelling burdened by the side yard easement are incorporated into the building design. Such measures shall include the use of high windows on the elevation adjacent to the side yard easement (i.e., sills at or above 5'6"), use of obscured glass, or other privacy protection measures acceptable to the Community Development Director. Dwellings may be located no closer together than 10 feet at two story elements.

- d. Accessory structures such as garages and carports, covered patios and second story decks shall be located 15 feet from project boundaries.
  - e. Accessory structures such as sheds, trellises and gazebos shall be located 5 feet from project boundaries.
  - f. Walls and fences up to 6 feet in height, and decorative landscaping and related structures up to 42 inches in height (including decks and fountains) shall not be considered structures for the purpose of this standard and shall not be subject to setbacks from project boundaries.
2. Private outdoor space shall be provided for each dwelling unit. The minimum area per unit shall be 400 square feet and shall be enclosed with fencing or walls. This requirement shall not apply where an acoustical study performed in connection with a development plan determines that the location of such outdoor space would exceed recommended noise levels.
  3. Residential units shall be designed with a minimum of 120 cubic feet of enclosed storage space, which shall be provided within an oversized garage or functional equivalent.

## **B. LAND USE AREA 2.**

### **I. Permitted Uses.**

1. Single family homes, detached condominiums, duplexes, triplexes, and related accessory structures.
2. Attached affordable housing.
3. The non-commercial keeping of up to four household pets, excluding farm animals.
4. Home occupations subject to a Home Use Permit as set forth in the City Zoning Ordinance.
5. Recreational facilities provided in conjunction with residential development.

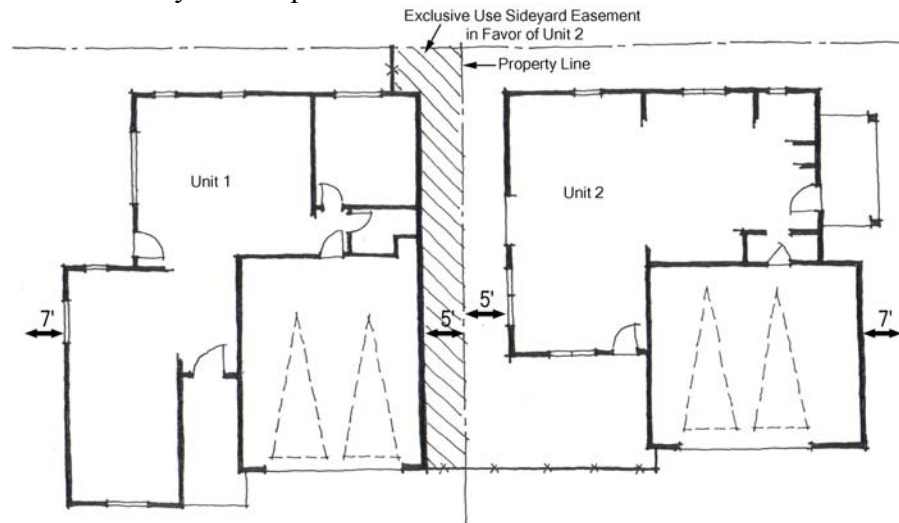
### **II. Design Standards**

#### **A. General Standards**

1. Maximum density shall be 5 units per gross acre, provided that the total number of units on Plan Unit 1 does not exceed 150, total units on Plan Unit 2 do not exceed 250 and other Plan Units do not exceed 4.6 units per gross acre.
2. Average lot size shall be 7,000 square feet with a minimum lot size of 6,000 square feet.

Lots created for affordable housing will not be subject to these requirements, but will be subject to review and approval by the Planning Commission.

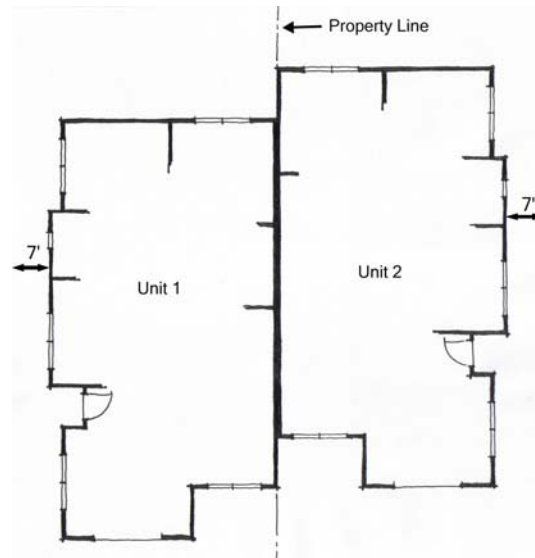
3. Maximum building coverage is 50% of lot area.
4. Residences located nearest to Harris Grade Road shall be limited to a single-story, 24 feet in height [AES-1a]. Two-story structures shall be limited to a height of 30 feet. Height shall be measured as shown on Figure 9
5. Setbacks from property lines:
  - a. Front setbacks for all structures (including accessory structures) shall be a minimum of 15 feet. Porches or other architectural features that do not constitute living area and are for the purpose of enhancing architectural styling may encroach into the setback 5 feet, however, in no case shall a porch or other architectural feature be closer than 10 feet to a public sidewalk.
  - b. Rear setbacks for dwellings shall be a minimum 10 feet, unless a rear yard is adjacent to a public street, in which case the minimum rear yard setback shall be increased to 20 feet.
  - c. Side yards for detached homes shall be provided with one side yard at least 7 feet in width and the opposite side yard shall be at least 5 feet in width, excluding portions of the side yard with slopes greater than 3:1. On a corner lot, the side yard abutting the street shall be at least 10 feet in width and the other at least 5 feet in width. Architectural features such as fireplaces and roof eaves may encroach up to 30 inches into the side yard area.
  - d. Side yard easements may be used to effectively create a zero setback from the easement area on one side of a dwelling, provided that the distance between dwellings is not less than 10 feet (See Figure 10) and provided that privacy measures benefiting the dwelling burdened by the side yard easement are incorporated into the building design. Such measures shall include the use of high windows on the elevation adjacent to the side yard easement (i.e., sills at or above 5'6"), use of obscured glass, or other privacy protection measures acceptable to the Community Development Director.



*Figure 10 – Example of sideyard easement to allow useable side yards in small lot detached development*

- e. Duplexes and triplexes may be designed with zero side yards as shown in Figure 11. Where side yards are provided for duplexes and triplexes, a minimum of 7 feet is required.

- f. Accessory structures such as detached garages, covered patios, second story decks, sheds, trellises and gazebos may be located 3 feet from side and rear lot boundaries.
  - g. Decorative landscaping and related structures up to 42 inches in height (including decks, fountains and fences) shall not be considered structures for the purpose of this standard and shall be allowed within the front, side and rear yard setback areas. Additionally, fences up to six feet in height shall be allowed within the side and rear yard setback areas..
6. Garages shall contain a minimum of 120 cubic feet of storage space in addition to a 20 foot by 20 foot clear space for the parking of 2 vehicles.
  7. Front-facing garages shall have driveways not less than 18 feet in depth from the back of any adjacent pedestrian pathway to the face of the garage. Side facing garages shall be set back not less than 15 feet from any adjacent pedestrian pathway.



*Figure 11 – Example of zero lot-line at side yard of attached units*

### **C. LAND USE AREA 3**

#### **I. Permitted Uses**

1. Single family homes, duplexes and triplexes and related accessory structures.
2. The non-commercial keeping of up to four household pets, excluding farm animals.
3. Home occupations subject to a Home Use Permit as set forth in the City Zoning Ordinance.
4. Recreational facilities provided in conjunction with residential development.

#### **II. Design Standards**

1. Maximum density shall be 3 units per gross acre, provided that the total number of units in Plan Unit 2 does not exceed 250.
2. Average lot area shall be 8,000 square feet with a minimum lot area of 7,000 square feet. Lots created for affordable housing will not be subject to these requirements, but will be subject to review and approval by the Planning Commission.
3. Maximum building coverage is 45% of lot area.
4. Detached single family homes within 100 feet of Harris Grade Road shall be limited to a single story, 24 feet in height [AES-1b]. Two-story structures shall be limited to a height of 30 feet. Height shall be measured as shown on Figure 9.

5. Setbacks from property lines:
  - a. Front setbacks for all structures (including accessory structures) shall be staggered from 15 to 20 feet. Porches or other architectural features that do not constitute living area and are for the purpose of enhancing architectural styling may encroach into the setback 5 feet, however, in no case shall porches or architectural features be closer than 10 feet to a public sidewalk..
  - b. Rear setback minimum is 10 feet, unless a rear yard faces a public street, in which case the minimum rear yard setback shall be increased to 20 feet.
  - c. Side yards shall be provided with one side yard not less than 10 feet in width and the other not less than 6 feet in width, excluding portions of the side yard with slopes greater than 3:1. On a corner lot, the side yard abutting the street shall be not less than 10 feet in width. Architectural features such as fireplaces and roof eaves may encroach up to 30 inches into the side yard area.
  - d. Accessory structures may be located 3 feet from side and rear lot boundaries.
  - e. Decorative landscaping and related structures up to 42 inches in height (including decks, fountains and fences) shall not be considered structures for the purpose of this standard and shall be allowed within the front, side and rear yard setback areas. Additionally, fences up to six feet in height shall be allowed within the side and rear yard setback areas.
6. Front-facing garages shall have driveways not less than 18 feet in depth from the back of any adjacent pedestrian pathway to the face of the garage. Side facing garages shall be set back not less than 15 feet from any adjacent pedestrian pathway.

## **D. LAND USE AREA 4**

### **I. Permitted Uses**

1. Single family homes and related accessory structures.
2. The non-commercial keeping of up to four household pets, excluding farm animals.
3. Home occupations subject to a Home Use Permit as set forth in the City Zoning Ordinance.
4. Recreational facilities provided in conjunction with residential development.

### **II. Design Standards**

1. Maximum density shall be 2 units per gross site acre, provided that the total density on Plan Unit 2 does not exceed 250 total units.
2. Average lot area shall be 15,000 square feet with a minimum lot area of 12,000 square feet. Lots created for affordable housing will not be subject to these requirements, but will be subject to review and approval by the Planning Commission.
3. Maximum building coverage is 35% of site area.
4. Two-story structures shall be limited to a height of 30 feet and single-story structures shall be limited to a height of 24 feet. Height shall be measured as shown on Figure 9.
5. Setbacks from property lines:
  - a. Front setbacks for all structures (including accessory structures) shall be a minimum of 20 feet. Porches or other architectural features that do not constitute

living area and are for the purpose of enhancing architectural styling may encroach into the setback 5 feet. Utility or other public right-of-way easements in the front yard may be included as part of the setback area.

- b. Rear setback minimum is 15 feet.
  - c. Side yards shall be provided with one side yard not less than 12 feet in width and the other not less than 8 feet in width, excluding portions of the side yard with slopes greater than 3:1. On a corner lot, the side yard abutting the street shall be not less than 10 feet in width. Architectural features such as fireplaces and roof eaves may encroach up to 30 inches into the side yard area.
  - d. Accessory structures may be located 3 feet from side and rear lot lines.
  - e. Decorative landscaping and related structures up to 42 inches in height (including decks, fountains and fences) shall not be considered structures for the purpose of this standard and shall be allowed within the front, side and rear yard setback areas. Additionally, fences up to six feet in height shall be allowed within the side and rear yard setback areas.
6. Driveways serving required covered parking spaces shall not be less than 18 feet in depth from the back of any adjacent pedestrian pathway to the face of the garage.

## **E. LAND USE AREA 5**

### **I. Permitted Uses**

1. Public elementary or middle school.
2. In the event that Land Use Area 5 is not developed as a public school, the Permitted Uses of Land Use Area 3 shall apply.

### **II. Design Standards**

1. If a public school is developed, the zoning development standards shall be those regulations of the State of California applicable to the development of public schools.
2. In the event that Land Use Area 5 is not developed as a public school, the Design Standards of Land Use Area 3 shall apply.

## **F. LAND USE AREA 6**

### **I. Permitted Uses**

1. Active or passive private recreational uses associated with development of the Burton Ranch.
2. Common area facilities and landscaping.
3. Erosion control devices.
4. Drainage improvements and related facilities.
5. Structures, improvements or equipment required to carry out the intended use.

## **G. LAND USE AREA 7**

Will be designated as an unbuildable site as detailed in RES-12.

**VI. SIGNS**

Signs throughout The Burton Ranch Specific Plan area shall conform to the standards provided in this section, which constitutes a Sign Program. Implementation of this Sign Program shall be reviewed and approved by Planning staff, and may be referred to the Planning Commission.

**Construction Signs**

- 1. One Construction sign shall be allowed per street frontage. Construction signs may contain information regarding the individuals and firms directly connected with the construction project, including the names of the contractors and subcontractors.
- 2. Each sign shall not exceed thirty-two square feet in sign area and six feet in height.
- 3. Each sign shall be located no less than five feet inside the property line.
- 4. Each sign shall be located on the real property upon which construction is to take place.
- 5. Construction signs shall not be illuminated.
- 6. Construction signs shall be removed once the final lot in the subdivision is sold.

**Subdivision Signs**

- 1. One temporary on-premise advertising sign per street frontage (Harris Grade Road and Highway 1) shall be allowed. Each sign shall not exceed thirty-two square feet in area. These signs shall be removed once the final lot in the subdivision is sold.
- 2. No more than three temporary off-premise directional and informational signs. Each sign shall not exceed twelve square feet in area and shall be allowed until the final lot in the subdivision is sold.

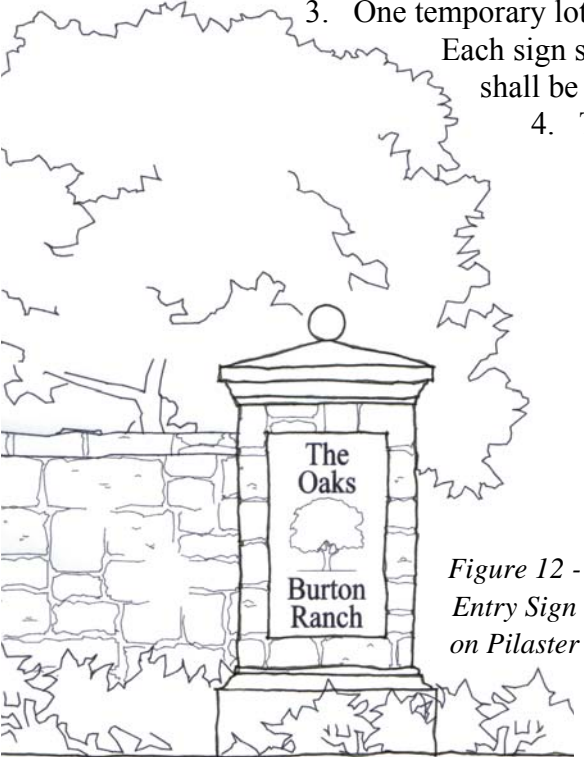


Figure 12 -  
Entry Sign  
on Pilaster

- 3. One temporary lot identification sign for each lot in the subdivision. Each sign shall not exceed one square foot in sign area and shall be allowed until the lot is sold.
- 4. Temporary directional and identification signage to sales offices and model homes shall be allowed. Each sign shall be limited to six square feet and shall be allowed until all homes are sold.
- 5. Subdivision signs shall not be internally illuminated.

**Entry Signs**

- 1. Entry signs at the Burton Ranch may be designed as pilaster-mounted signs, wall-mounted signs, or free-standing monuments (See Figures 12-15).
- 2. Each entry may have up to two project entry signs.

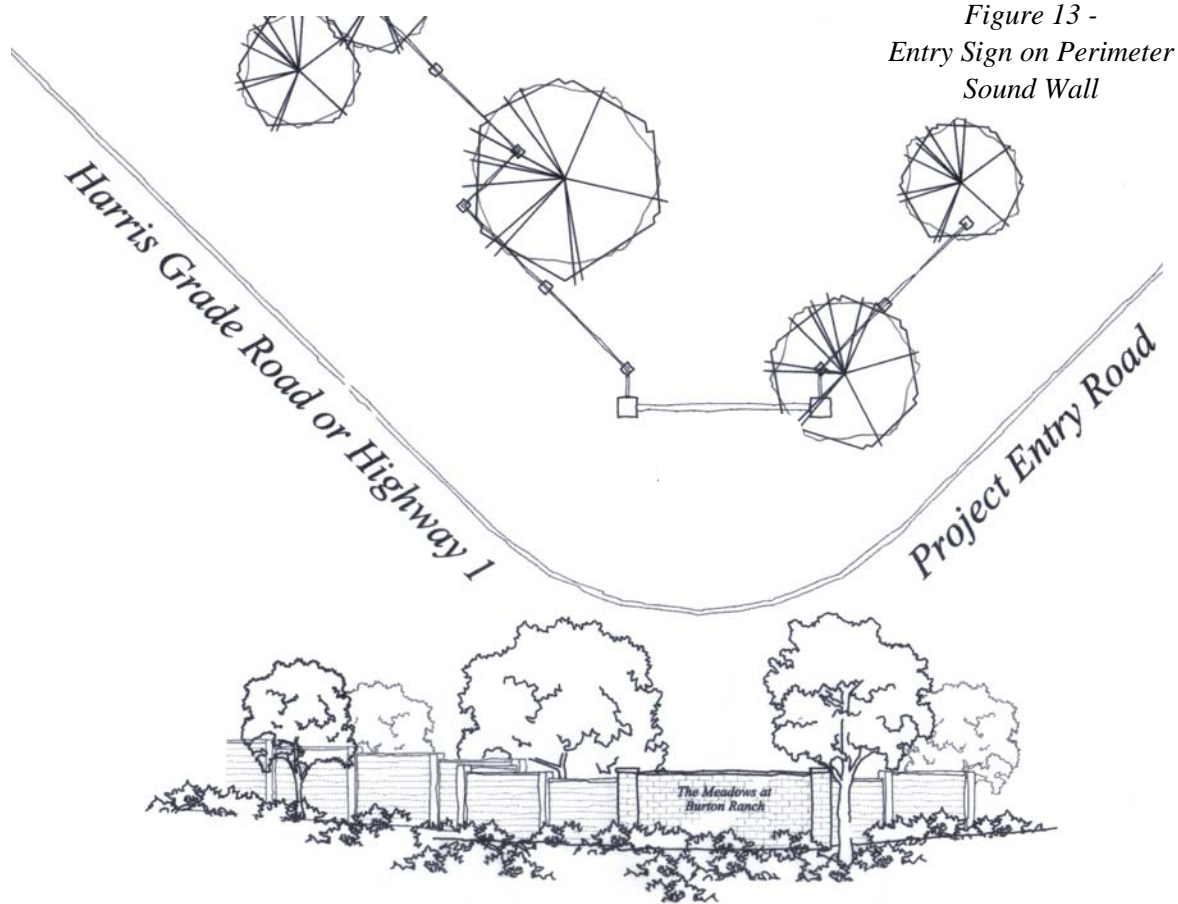


Figure 13 -  
Entry Sign on Perimeter  
Sound Wall

3. Each pilaster or wall-mounted entry sign shall be limited to a sign area of 40 square feet per side. The effective area of text and logos shall be used to calculate sign area. The overall area of pilasters, walls, and monuments to which signs are mounted are not to be included in this calculation. Pilaster or wall-mounted entry signs shall not be higher than 6 feet above grade. Pilasters and walls to which signs are mounted may be higher, as allowed by this Specific Plan or the City Zoning Ordinance.

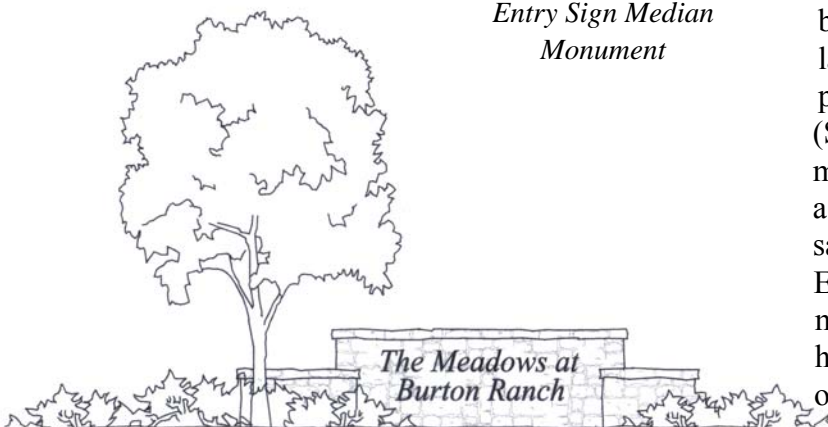


Figure 14 -  
Entry Sign Median  
Monument

4. Free-standing monument signs may be located within the front landscape buffers, or within a privately landscaped entry median. (See Figure 14). Free-standing monument signs shall be located so as not to interfere with traffic safety, as determined by the City Engineer. Free-standing monuments shall be limited to a height of 60 inches and a sign area of 60 square feet per side.



5. Entry sign lettering may be brass, bronze, wood or simulated wood material, stained or painted with a matte or semi-gloss finish.
6. Sign lighting may be high-pressure sodium, incandescent or other lighting types that are consistent with landscape lighting. Signs may be lit from concealed ground mounted fixtures or overhead if the fixture is incorporated into the overall design of the sign. Signs may not be internally illuminated. Sign lighting shall be incorporated into the Common Area Lighting Plan and shall be subject to the requirements in UTIL-12. [AES-4.1]



*Figure 15 - Entry Sign Near Pedestrian Path*

### ***Directional Signs***

1. At least one permanent directional and identification sign shall be provided for each project amenity and management office. Permanent identification signs may also be provided for apartment and other multi-family residential buildings. Each of these signs shall be limited to twelve square feet.
2. Directional and identification signs as required by the Fire Department shall be allowed throughout The Burton Ranch Specific Plan area.
3. Directional signs shall not be internally illuminated.

### ***Institutional Signs***

1. In the event that a school is built, Land Use Area 5 shall be permitted institutional signs not exceeding 40 square feet in area per side, and not exceeding a height of 5 feet.
2. One such sign shall be permitted along each street frontage and shall be located at least five feet inside the property line.
3. Signs for other institutional uses (i.e. schools, churches, day care, etc...) are permitted in conjunction with the review and approval of such use and as part of a Sign Program as specified in the City's Zoning Ordinance.

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## ***VII. THE INFRASTRUCTURE PLAN***

### ***Traffic & Circulation***

The following access points from Harris Grade Road and Highway 1 to the Burton Ranch area have been studied and evaluated by both the Project EIR and Associated Transportation Engineers:

1. A new intersection of Onstott Road at Harris Grade Road was constructed with The Bluffs at Mesa Oaks tract in 2004. A circulation access point to the Burton Ranch will be provided to align at this location.
2. The existing Lane's End/St. Mary's Church driveway will remain in its present location. A circulation access point to the Burton Ranch will be provided to align at this location.
3. A third access point from Harris Grade Road is provided approximately 1,600 feet north of the new Onstott Road/Harris Grade Road intersection. This location was determined as the best location for a third access point, as it occurs at a topographic high point on Harris Grade Road, allowing good visibility to cross traffic.
4. One access point will be provided from Highway 1 at the location of an existing traffic signal and the access point to Allan Hancock College.

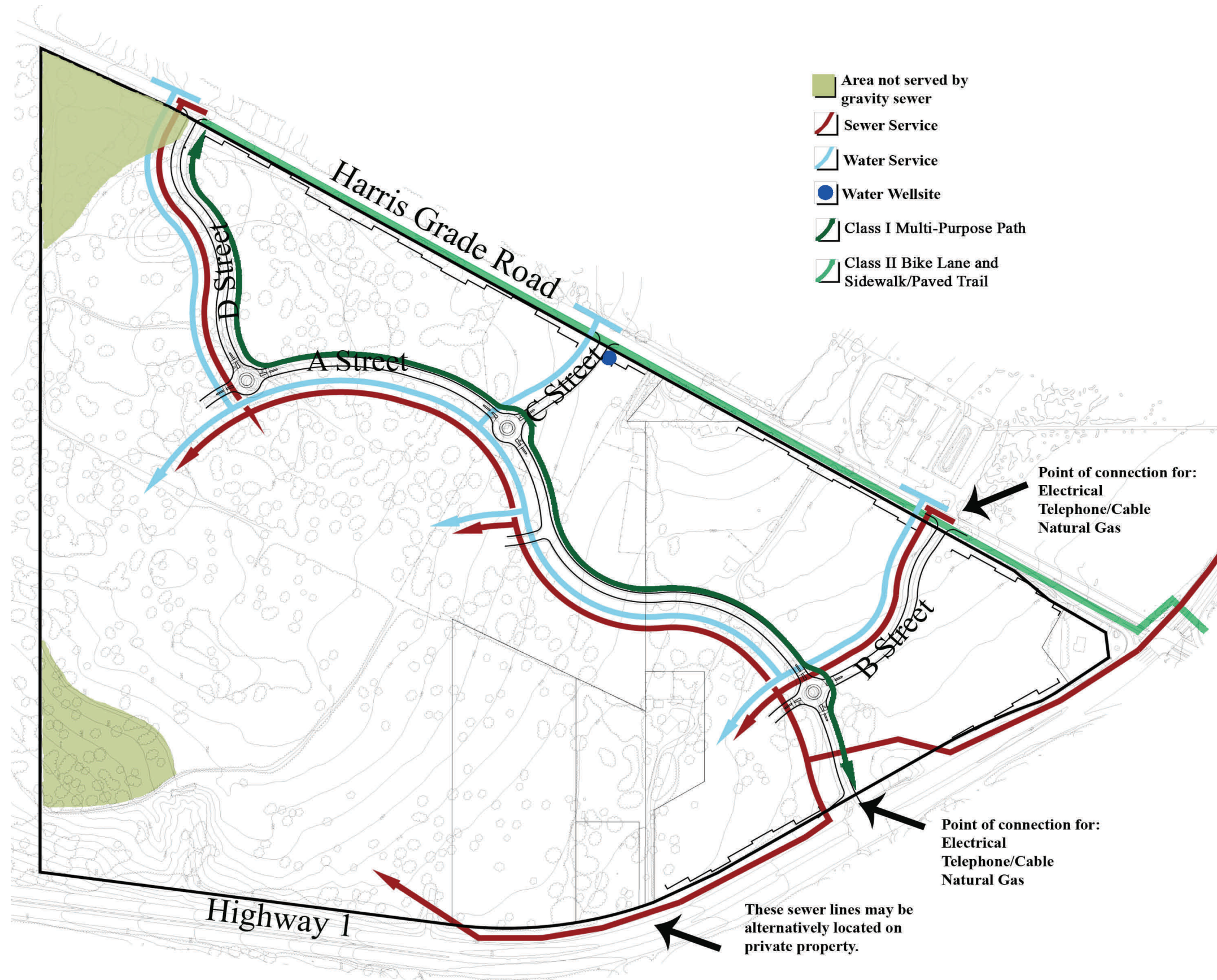
A "backbone" circulation plan is shown on the Infrastructure Plan (See Figure 16). The Infrastructure Plan provides the primary circulation for The Burton Ranch Specific Plan area and will be augmented by additional neighborhood streets as individual development plans are created. The locations of the streets shown on the Infrastructure Plan are intended to be approximate; they may be adjusted as individual development plans are created.

In addition to the following Circulation Standards, the project will contribute mitigation fees and circulation improvements as detailed in Revised FEIR mitigation measures TRANS-1.2 and shown in Table 2.

### ***Circulation Development Standards***

- CIRC - 1. To maintain a rural character in the Burton Ranch, street design will feature road sections that are narrower than City standard urban streets, with either rolled or standard concrete curbs, landscaped parkways and detached paved pedestrian paths in some locations, rather than sidewalks (see Figure 17).

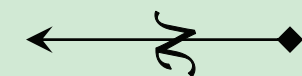
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**Infrastructure Plan  
Figure 16**

The Infrastructure Plan depicts the approximate location and design of the Collector Roads and roundabout intersections, as well as conceptual locations of water and sewer service. Other utilities such as electricity, gas, phone and cable television are shown as points of connection.

Specific drainage improvements are not depicted on this plan. Please refer to the "Master Drainage Planning Report" by Penfield & Smith Engineers dated August 30, 2001 located in the Final EIR Appendix for infrastructure drainage.





CIRC - 2. The following roadway designations shall apply to The Burton Ranch Specific Plan Area:

- a. **Collector Roads.** Shown as Roads “A”, “B”, “C” and “D” on the Infrastructure Plan Map, these public roads are designed for conducting traffic from one end of the Burton Ranch to the other and for making connections to Harris Grade Road and Highway 1. Collector roads will have a detached, 8-foot wide, Class I multi-purpose path on one side of the roadway, meandering landscaped parkways and standard concrete curbs (see Figures 16 & 17).

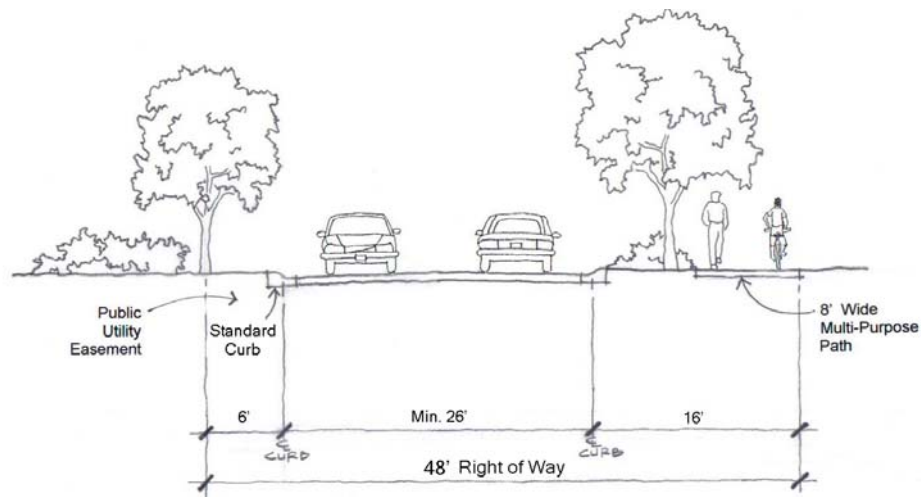
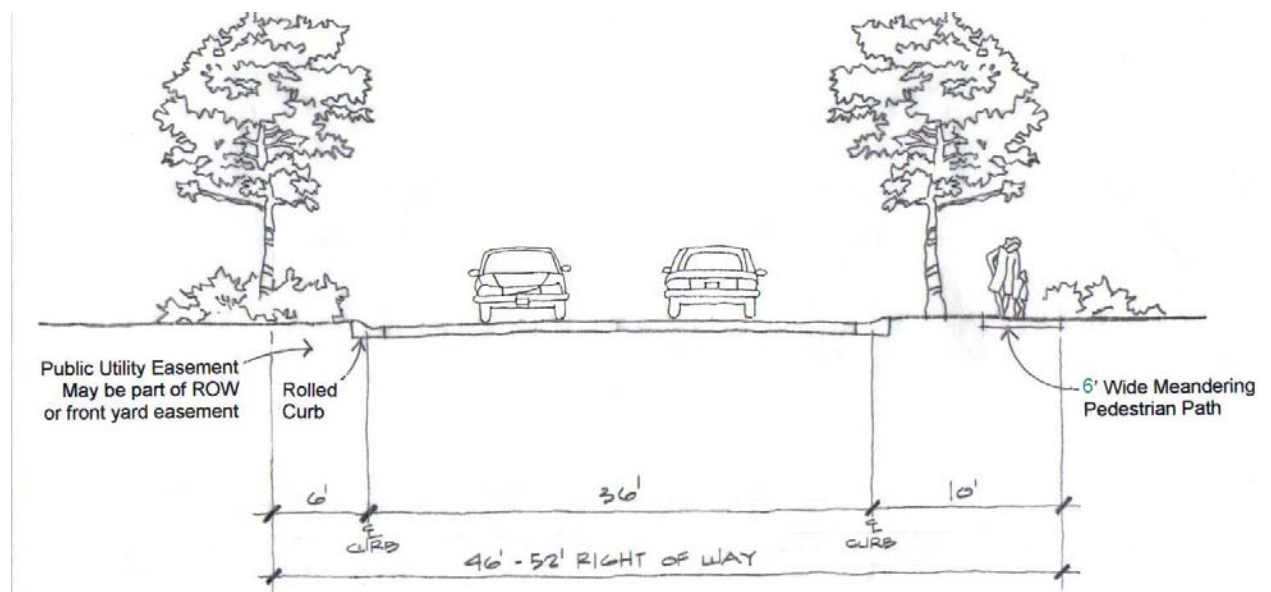


Figure 17 – Collector Road without Parking

It is intended that collector roads generally will not directly serve individual homes, but rather provide a circulation corridor uninterrupted by driveways and lot frontages, except where low density residential uses occur in Areas 3 and 4. Where these roadways have very limited residential lot frontage, they should not be sized for on-street parking. If the collector roads provide lot frontage and driveway accesses in Areas 3 and 4, additional street width or parking bulbs shall be provided to allow parking on both sides. Collector roads without parking will be a minimum of 26 feet wide and collector roads with parking on both sides shall be a minimum of 38 feet wide. The developer shall provide the City Engineer with a letter from Mission Hills Community Services District stating that the street widths are adequate for utility maintenance.

**b. Residential Streets.** These streets are not depicted on the Infrastructure Plan Map, as the locations will be determined at the time individual development plans are designed. Residential streets are public roads intended to directly serve residential lots from the collector. Residential streets will have no bike paths and will provide parking on both sides of the street. Residential streets will contain meandering parkways with street trees and pedestrian paths on one side of the street (see Figure 18). Rolled curbs are encouraged, except where standard curbs are needed for drainage capacity or other functional reasons. Curb ramps will be installed at intersections and roundabouts as required by the Americans with Disabilities Act.



*Figure 18 – Residential Street with Parking on Both Sides*

**c. Private Drives.** It is envisioned in certain instances that private drives serving several homes or an apartment complex will be desirable in the Burton Ranch. Private drives will not be publicly maintained streets, but will connect to a collector road or residential street. Private drives are not required to be designed to public street standards. Where private drives are designed for no parking or perpendicular parking, the minimum width shall be 24 feet (see Figure 19), and where parking is provided on one side only, may be 28 feet wide. Rolled concrete or standard curbs will be utilized where required for drainage; otherwise, installation of curbs is at the option of the property owner. Private drives are not required to have pedestrian paths or parkways.



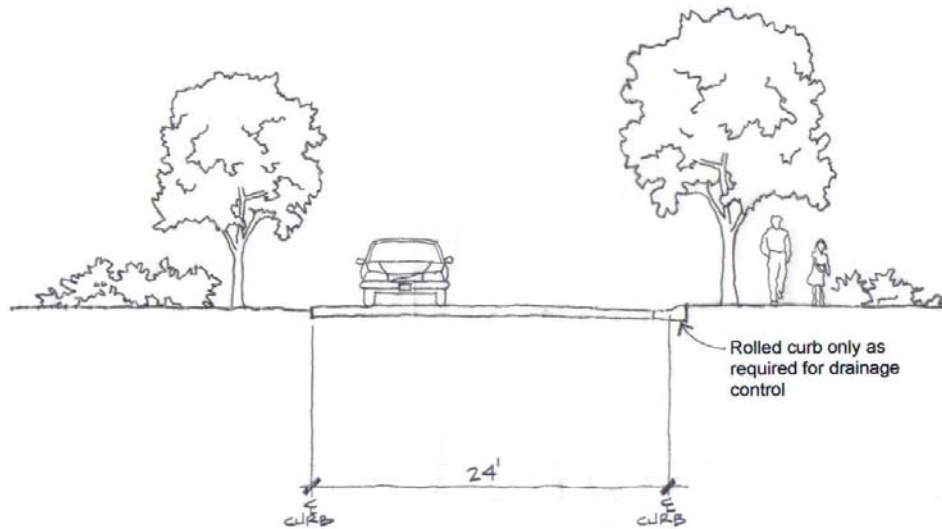


Figure 19 – Private Drive without Parking

CIRC - 3. The interior streets in The Burton Ranch Specific Plan area shall be designed primarily as curving streets in order to encourage traffic calming and to reduce the need for law enforcement for speeding vehicles. The design speed of all streets within The Burton Ranch Specific Plan, including collector roads, shall be 25 miles per hour.

Figure 20 – Typical Street-Plan View





Figure 21 – Typical Roundabout Design

CIRC - 4. Intersections between collector roads A, B, C and D shall be designed as roundabouts to serve as natural traffic calming devices. Roundabouts in The Burton Ranch Specific Plan shall be designed consistent with Figures 21 and 22 or may be an alternate design, subject to mutual agreement between City Public Works and the applicant. [TRANS-3.2c]

CIRC - 5. Two-way on-site stop signs shall be installed at the proposed access points onto Harris Grade Road to control site traffic exiting via Streets “B”, “C” and “D.” [TRANS-1.4b, -TRANS-3.1]

CIRC - 6. A public education program to instruct the public on safe driving instructions in roundabouts, consistent with Revised FEIR Mitigation Measure Trans-3.1, shall be implemented. [TRANS-3.1]

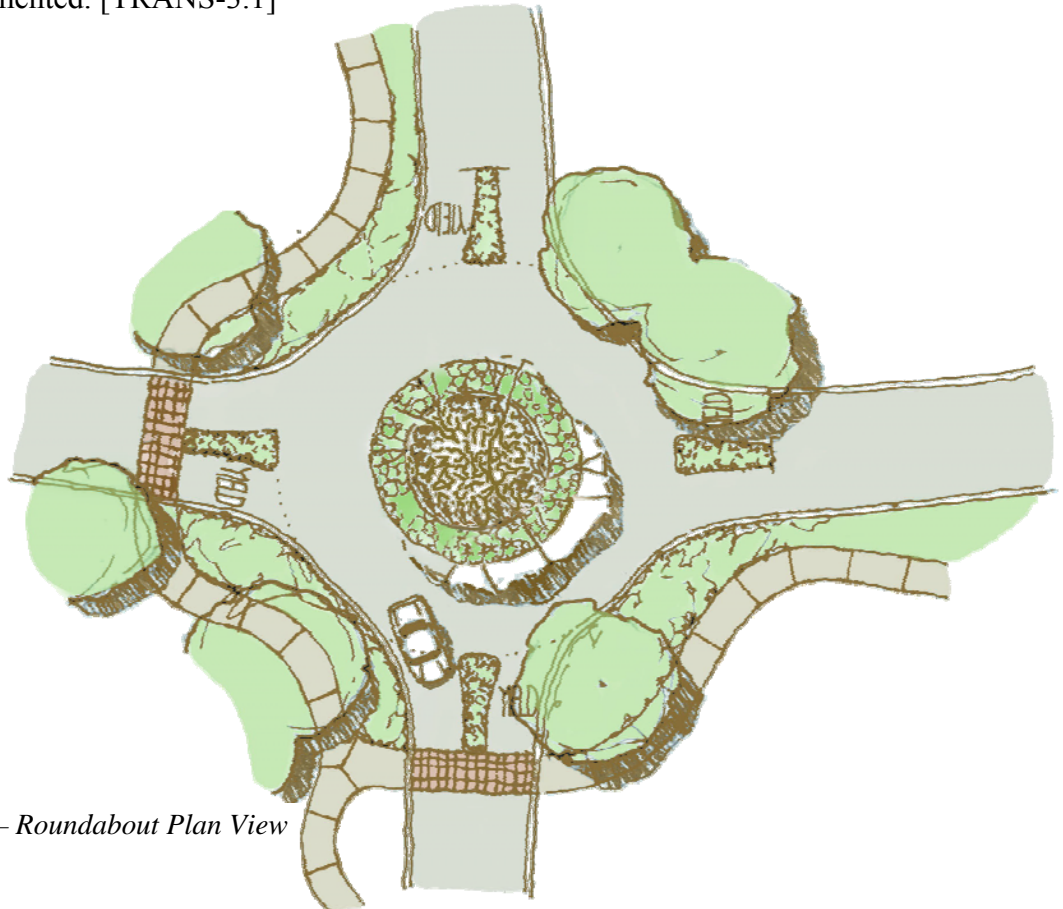


Figure 22 – Roundabout Plan View

CIRC - 7. A Class II Bikeway and pedestrian access are proposed along Harris Grade Road. Due to topography considerations, the pedestrian access may be immediately adjacent to Harris Grade Road or separated, as shown in Figure 23. [AES-3.3a, -3.3c]

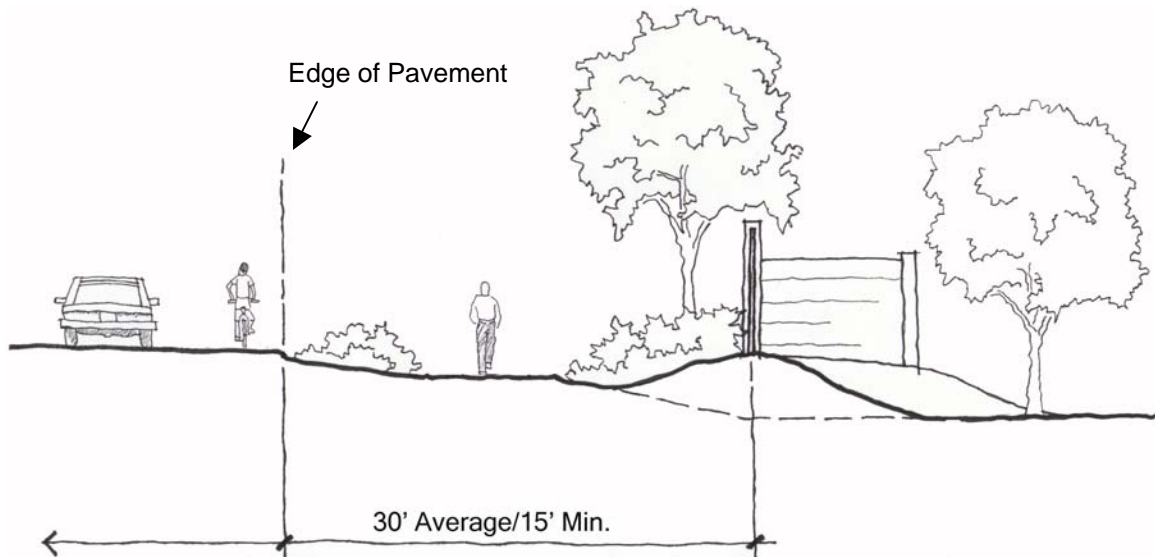


Figure 23 – Class II Bikeway and Pedestrian Access Along Harris Grade

CIRC - 8. Street lighting fixtures unique to the Burton Ranch will be provided on all collector roads and residential streets. The fixtures will be a rural or “old-fashioned” decorative style, as described in the Architectural and Site Design Standards section of this Specific Plan. Lighting within the Burton Ranch is not required to provide the same level of overall illumination as provided by typical City street lighting except at intersections as directed by the City Engineer. Consistent with UTIL-12, the intent of this is to preserve the rural atmosphere in the Burton Ranch, to avoid spill-over to the Burton Mesa Ecological Reserve, and to avoid nighttime glare as seen from a distance. Lighting on private drives is at the option of the developer. Specific street lighting criteria is contained in Utility Development Standards UTIL – 8 through UTIL – 12. [AES-4.1]

CIRC - 9. The applicant shall provide and maintain adequate sight distances at all site access points on Harris Grade Road and at all internal intersections.[TRANS-1.4a]

CIRC - 10. The site access at the Harris Grade Road/ Street “B” and Street “C” intersections shall include northbound and southbound left-turn lanes on Harris Grade Road within a 14-foot median. [TRANS-1.4c]

CIRC - 11. The site access at the Harris Grade Road/ Street “D” intersection shall include a northbound left-turn lane on Harris Grade Road with a 14-foot median. [TRANS-1.4d]

CIRC - 12. Improvements shall be made at the Harris Grade Road/State Highway 1 intersection

to provide for safe pedestrian crossing from the southeast intersection corner to the northwest intersection corner. [TRANS-3.3b]

- CIRC - 13. The existing bike lane on northbound State Highway 1 through the Purisima Road intersection shall be extended to connect with a new pedestrian/bicycle crosswalk, north across Purisima Road, and connecting to a new pedestrian/bicycle crosswalk spanning Harris Grade Road. [TRANS-3.3d]
- CIRC - 14. On-site access to Street “A” shall be located no closer than 300 feet north of the intersection with Highway 1 to avoid having access blocked by the 95<sup>th</sup> percentile queue of southbound vehicles exiting the project site. This distance may be modified by the City Engineer if Street “A” is designed with dual turn lanes which meet the intent of this standard. Access to the existing frontage road will be relocated to comply with this requirement. [TRANS 1.4e]
- CIRC - 15. The curb radius at street intersections shall be a minimum of 20 feet. [TRANS-3.1]
- CIRC - 16. Collector roads and residential streets, and associated pedestrian paths and lighting, will be installed by the developer and dedicated to and accepted by the City as public streets and walkways. Parkway landscaping and other private landscaped common areas shall be maintained by either a homeowner’s association or an assessment district acceptable to the City of Lompoc. [TRANS-3.1]
- CIRC - 17. Bus stops shall be installed along project frontages consistent with City of Lompoc Public Works Department standards. [TRANS-1.2g]
- CIRC - 18. In the event that an agreement is reached between the property owners and the Lompoc Unified School District to transfer property in Land Use Area 5 for the construction of a school, the following requirements consistent with Revised FEIR mitigation measures TRANS-3.2a-d shall apply:
- a. The pavement width proposed for Street “D” shall be sufficient to allow parking and bike lanes on both sides of the street.
  - b. Street lighting and pedestrian crosswalk locations shall be provided along Street “D” that take on-street school parking into account.
  - c. All roundabout designs shall be subject to the review and approval of the Lompoc Unified School District.
  - d. The intersection between Street “C” or “D” and Harris Grade Road shall be signalized as specified in TRANS-3.2d.

### ***Utilities***

Sewer and water service will be provided by Mission Hills Community Services District, pursuant to the terms of the overlap Annexation Agreement between the City of Lompoc and the Mission Hills Community Services District, dated May 2, 2000.

A 10-inch sewer trunk line will be extended from La Purisima Road to the west side of the Burton Ranch, wherein it will generally follow The Burton Ranch Specific Plan circulation



system. All public sewer improvements will be constructed to Mission Hills Community Service District specifications and will be public sewers.

Water will be provided by an existing 14-inch water main located in Harris Grade Road. The Burton Ranch water system will be designed to “loop” to each intersection with Harris Grade Road. All water system improvements will be constructed in agreement with Mission Hills Community Service District and will be public water lines. A new public well will be constructed to Mission Hills Community Services District specifications near the planned intersection of Harris Grade Road and the extension of Onstott Road.

Electric service will be provided either by the City of Lompoc or by Pacific Gas & Electric. The City serves Allan Hancock College, and PG&E serves existing development along Harris Grade Road as well as existing homes in The Burton Ranch Specific Plan area. Service is available from either utility; however, if upon annexation to the City of Lompoc the City elects to provide electric service, a modification to the PG&E franchise must be negotiated by the two service providers.

Natural gas will be provided by Southern California Gas Company via an existing medium pressure gas line on Harris Grade Road.

Telephone and cable television service are available on Harris Grade Road and near Allan Hancock College. The Infrastructure Plan indicates possible points of connection to these utilities.

### ***Utilities Development Standards***

- UTIL - 1. Public utilities shall follow the location of streets, except in instances where utilities must depart from roadways in order to serve the areas shown for development in the Land Use Plan.
- UTIL - 2. The applicant shall prepare a plan for the water distribution system, delineating on- and off-site improvements that would be required to effectively provide water service to the site and demonstrating that the proposed water system meets applicable quality and pressure standards. [UTIL-1.1]
- UTIL - 3. The applicant shall install, pursuant to Mission Hills Community Services District specifications, an additional on-site groundwater well that can provide a total water supply equal to or greater than the maximum projected water demand of approximately 200 AFY, to be managed by the MHCSD. [HYDRO/WQ-3]
- UTIL - 4. All new utility extensions within The Burton Ranch Specific Plan area shall be placed underground. Existing overhead utility lines located within existing public rights-of-way may be undergrounded at the option of the developer.
- UTIL - 5. In order to conserve water, all development shall participate in the retrofit program adopted by the Mission Hills Community Services District in effect at the time of

building permit approval for each home. The retrofit program currently requires the payment of funds to provide for 1.6 gallon toilets in three existing homes for every home constructed. [HYDRO-WQ-4.1]

UTIL - 6. All new utilities within The Burton Ranch Specific Plan area shall be public utilities, installed at the developer's cost, subject to any credits or reimbursements allowed by the respective service provider.

UTIL - 7. Prior to approval of the final development plans, the applicant shall prepare and submit a Solid Waste Reduction Plan, including solid waste mitigation measures to the City for review and approval. The plan shall include or address the following measures:

- A portable wood grinder shall be on site to grind any brush and/or trees removed during the grubbing stage.
- Separate containers for recycling construction debris such as wood, cardboard, metal, asphalt and/or concrete materials will be provided during the construction phase of the project.
- The contractor will include the use of green materials during the construction phase of the project
- An area for three Solid Waste containers (trash, recycling and green waste) shall be incorporated into the residential design. This area should be located on one side of a residential structure, preferably behind a side yard fence and gate.

Street lighting for the Burton Ranch Specific Plan shall be consistent with the following standards:

UTIL - 8. Street light fixtures shall be homogeneous throughout the Burton Ranch Specific Plan area and shall be similar in appearance and type to the example shown in Figure 26. The fixture type shall be a cut-off style, and utilize an internal reflector for proper light distribution. Fixture mounting height shall be 14 feet. This height excludes decorative portions of the pole above the lamp. Fixtures serving public streets shall use a 100-watt high pressure sodium lamp, with a ballast approved by the City of Lompoc Utilities Division.

UTIL - 9. Intensity of illumination on public streets shall be based on the following:

- Meet IES (Illuminating Engineering Society) recommended guidelines for roadway and exterior walkway lighting, as specified in the IES Lighting Handbook, 9<sup>th</sup> Edition.
- For Residential Streets, provide 0.4 foot-candle average at a spacing of 200 feet minimum, with a uniformity ratio (average to minimum) no higher than 6:1.
- For Collector Roads, provide 0.6 foot-candle average at a spacing of 125 feet minimum, with a uniformity ratio no higher than 4:1.
- For institutional (school), provide 0.9 foot-candle average at a spacing of 80 feet minimum, with a uniformity ratio no higher than 4:1.
- Intersections shall have safety lighting acceptable to the City Engineer.

UTIL - 10. Fixtures serving public streets shall be spaced appropriately for the type of road they serve, to maintain the required foot-candle level, as dictated by the IES. Exact spacing will be determined by the manufacturer chosen. The spacing criteria above is intended to allow different fixture manufacturers to meet the required foot-candle level required by the IES, based on type of roadway use. The minimum distance, above, may be increased provided the foot-candle levels are met. Fixtures shall not be used that cannot achieve the illumination requirements with the minimum spacing above.

UTIL - 11. Streetlight poles may be constructed of aluminum, fiberglass, or pre-cast concrete at the discretion of the developer. Fiberglass and pre-cast concrete poles may use an appropriate concrete base, or be of the direct burial type and use a concrete slurry for support. Aluminum and non-direct burial type poles shall be provided with an appropriate concrete base. All bases shall be formed round; no free poured bases shall be used. This standard is not intended to prohibit the use of decorative concrete bases. If a raised base is utilized, the overall mounting height shall remain at 14 feet.

UTIL - 12. All lighting shall be screened and directed downward to prevent spill-over onto adjacent parcels, open space portions of the Burton Ranch Specific Plan area, and the Burton Mesa Ecological Reserve. Pole supports shall be of a dark finish to reduce glare. A Common Area Lighting Plan shall incorporate these requirements and demonstrate how low level lighting shall be controlled at all times (i.e., use of lighting timers). [AES-4.1]

### ***Public Services***

The Lompoc Unified School District provides schools for the entire Lompoc Valley, including future development in the Burton Ranch. School children living in the Burton Ranch are expected to attend Los Berros Elementary School, Vandenberg Middle School and Cabrillo High School.

Lompoc Unified School District's master plan has identified an existing need for a new elementary/middle school (K-8) in the Burton Ranch Specific Plan area. Studies conducted by the School District determined that the desired location for a school is near the northeast corner of Plan Unit 2. The Burton Ranch Specific Plan proposes to dedicate an approximately 12-acre school site near the northeast corner of Plan Unit 2 (see the Land Use Plan Map, Figure 8) to the School District. Plan Unit 2 shall pay statutory fees to the School District, pending the outcome of the school site dedication negotiations, which were underway at the time this Specific Plan was prepared.

Fire Protection and Law Enforcement are presently provided to this area by the Santa Barbara County Fire Department and the Santa Barbara County Sheriff. Both of these departments operate under a mutual aid agreement with the City of Lompoc Fire Department and Police Department. Upon annexation to the City of Lompoc, the City will provide primary response for fire and police protection, with continued mutual aid from the Santa Barbara County Fire Department and the Santa Barbara County Sheriff.

Recreational needs for the residents of this area are presently under the jurisdiction of the Santa Barbara County Parks Department; however, the County has historically not had the resources to provide or maintain organized recreational amenities in this area. One of the objectives of annexation of the Burton Ranch to the City of Lompoc is to better serve the recreation needs of the future residents of the Burton Ranch. Upon annexation to the City of Lompoc, recreational needs of the future residents in the Burton Ranch will be met by a combination of construction of an on-site private passive park as well as payment of City park mitigation fees (Quimby fees) to address regional recreation needs in the Lompoc Valley.

It is anticipated that development of the Burton Ranch will occur in phases. This includes the residential uses contemplated by this Plan as well as the associated infrastructure. Since The Burton Ranch Specific Plan covers multiple property ownerships, the phasing must be flexible to accommodate each owner. The property owners will enter into a reimbursement agreement as specified in standard PS-7 to ensure that each owner is responsible for their fair share of improvement costs, regardless of when the improvements are installed. Table 2 shows the proposed infrastructure timing for The Burton Ranch Specific Plan.

### ***Public Services Development Standards***

- PS - 1. Prior to submittal of development plans in the Burton Ranch, landowners of Plan Unit 2 shall offer to negotiate the transfer of 12-acres to the Lompoc Unified School District to provide for a school site on the Burton Ranch property. Plan Unit 2 shall pay statutory fees to the School District, pending the outcome of the school site dedication negotiations, which were underway at the time this Specific Plan was prepared. All other Plan Units shall pay statutory school fees as full mitigation for impacts to school facilities, as provided by State law. [PS-5.1 and 5.2]
  
- PS - 2. In order to meet new development's fair share of capital needs of various City of Lompoc services, all new development shall contribute development impact fees in accordance with the City's impact fee schedule. These include fees for parks improvements, park land, recreation centers, libraries, water, wastewater, fire facilities, street improvements, traffic signals, bikeways, and refuse containers. The impact fees shall be charged at the time provided by City resolution, and the type and amount of the fees shall be in accordance with those provided pursuant to the Development Agreement to be adopted concurrently with this Specific Plan. [PS-2.1.2, PS-3, PS-6.2, REC-1 and TRANS-1.2f]
  
- PS - 3. In order to provide a supplemental revenue source to the City of Lompoc for police, fire and library services, all development in the Burton Ranch Specific Plan shall participate in a Maintenance Endowment Trust Fund (METF). The METF will be funded as a one-time fee paid to the City prior to issuance of building permits for each development phase. [PS-2.1.1, PS-4 and PS-6.1]
  
- PS - 4. The applicant shall prepare and implement a Fire Vegetation Maintenance Plan and



Fire Protection Plan Consistent with Revised FEIR mitigation measures PS-2.2.1 and PS-2.2.2b. In order to create the 30-foot clear zone and additional 70-foot wide fuel modification zone adjacent to the residential structures, all habitable and accessory structures shall be set back a minimum of 200 feet from the northern project site boundary (i.e., the 100-foot BMER buffer (see RES-3), a 70-foot fuel modification zone, and a 30-foot clear zone). The 30-foot clear zone extending north from the structures shall be limited to non-structural improvements including landscaping and roadways. In the event that a residential access road with a 50-foot right-of-way is provided directly adjacent to the 100-foot BMER buffer and buffer wall, an additional 20-foot clear zone will be sufficient to meet Fire Department requirements. Figure 4.3-3 of the Final EIR shows a conceptual design of this scenario, which would result in a setback of 170 feet from the northern project site boundary (100-foot BMER buffer, 50-foot right-of-way for the access road, and additional 20-foot clear zone, which may be provided as front yards) [BIO1.1b].

- PS - 5. In order to further offset new development's impacts to City recreational facilities, The Burton Ranch Specific Plan area shall include a private passive recreation area for the benefit of the residents of the Burton Ranch (see Land Use Plan Map, Figure 8). This recreation area shall be approximately 3 acres in size and shall include trails, preservation of oak trees, and an open turf play area.
- PS - 6. In order to meet new development's share of water and sewer infrastructure costs, all new development shall contribute water and wastewater connection fees, as well as retrofitting program fees, to the Mission Hills Community Services District in accordance with the Development Agreement with MHCSO.
- PS - 7. All property owners within The Burton Ranch Specific Plan area will participate in a reimbursement agreement for infrastructure improvements. The reimbursement agreement ("Reimbursement Agreement") may be a private agreement between the property owners or may include the City as a party to the agreement. The Reimbursement Agreement shall be in place prior to recordation of the first subdivision map to record following adoption of the Specific Plan.

Table 2 - Infrastructure Timing Schedule

IMPROVEMENT	DESCRIPTION	TIMING
<b>Circulation</b>		
Payment of Traffic Mitigation Fees [TRANS-1.2f]	Fees based on applicable City developer fee resolution	Fees to be paid upon the issuance of any development permit or prior to final building inspection.
Central/H Street intersection improvements [TRANS-1.2d]	Contribute 50% of the projected cost of adding dual northbound and southbound left turn lanes	Design deposit of \$15,000 to be paid to City with submittal of first Public Improvement Plan. Remaining costs (50% less the \$15,000 deposit) to be paid at the time of issuance of the first building permit for any dwelling unit. All costs subject to Reimbursement Agreement.
Harris Grade Road/Purisima Road intersection improvements and Highway 1 [TRANS-1.2c, 3.3b, -3.3d]	<p>Restripe the northbound approach (dual left-turn lanes, one through lane and a right-turn lane).</p> <p>Provide traffic signal improvements to change the existing split phasing to protected left-turn phasing on the northbound and southbound approaches and to protected-permissive left-turn phasing on the eastbound and westbound approaches.</p> <p>Caltrans Encroachment Permit to be received prior to approval of Final Map and Public Improvement Plan.</p> <p>County of Santa Barbara Encroachment Permit shall be applied for all work within the County right-of-way along Harris Grade Road prior to map recordation.<sup>2</sup></p> <p>Extend existing bike lane on northbound HWY 1 through HWY 1/Purisima Road intersection, connecting with a new pedestrian/bicycle crosswalk, north across Purisima Road, and connecting to a new pedestrian/bicycle crosswalk spanning from the southeast intersection corner to the northwest intersection corner of Harris Grade Road.</p>	Preliminary plans to be included with submittal of the first tract map for the development. Caltrans Encroachment Permit to be received prior to approval of Final Map and Public Improvement Plan. County Encroachment Permit to be applied for prior to map recordation. Final design and construction by first Plan Unit to receive grading permit, subject to Reimbursement Agreement.
Hwy 1/Allan Hancock Drive intersection improvements [TRANS-1.2a]	Increase left-turn storage for southbound traffic and right-turn channelization for northbound traffic	Preliminary plan to be included with submittal of the first tract map for the development. Final design, construction and Cal-Trans encroachment permit by first Plan Unit submitting Final Map and Public Improvement Plan, subject to Reimbursement Agreement.
Harris Grade Road frontage improvements [TRANS-1.2b, -1.4b, -1.4c, -1.4d, -3.3a, -3.3b, -3.3d]	Construct median lane, left turn lanes, and pedestrian paths, sidewalks, stop signs and Class II bike lane as required to serve each project site access point on Harris Grade Road	Construct concurrently with each Plan Unit's respective frontage on Harris Grade Road, subject to Reimbursement Agreement. All frontage improvements shall extend continuously from intersection to intersection.

<sup>2</sup> Burton Ranch Specific Plan Amendment No. 2 adopted by City Council Ordinance No. 1607 (14) on August 19, 2014.

Table 2 - Infrastructure Timing Schedule

IMPROVEMENT	DESCRIPTION	TIMING
Internal project roadways, roundabouts, pedestrian paths, sidewalks and street lighting [TRANS-3.1, 3.2c]	Construct interior collector streets, roundabouts, residential streets and private drives to serve proposed development by Plan Unit	Collector road design to be provided with submittal of the first tract map for the development. Construct concurrently with each Plan Unit's respective development plans.  The "A" Street connection to Highway 1 shall be constructed by the time the cumulative project development exceeds 275 p.m. peak hour trips.
Bus Stops [TRANS-1.2g]	Install bus stops in locations to be determined during the development review process for each phase	Design to be provided with submittal of the first tract map for each phase of development. Construct with each Plan Unit's respective development plans.

**Water System**

Connection to 14" Harris Grade Road [UTIL-1.1.1]	Extend public water main in Harris Grade Road into Plan Units to serve proposed development	Design and construct with each Plan Unit's respective development plans, subject to master plan coordination
Internal project water mains/services	Extend public water main in Harris Grade Road into Plan Units to serve proposed development	Design and construct with each Plan Unit's respective development plans, subject to master plan coordination
Ground Water well/treatment facility [HYDRO/WQ-3, NOISE-1.1]	New public groundwater well/treatment facility and attenuation on Plan Unit 2	Design and construct with Plan Unit 2, subject to Reimbursement Agreement.

**Sewer System**

Purisima sewer main extension	Extend public sewer main on Purisima Road to Specific Plan area	Design and construct with first Plan Unit to request final map approval, subject to Reimbursement Agreement
Internal sewer lines/laterals	Extend public sewer mains into Plan Units to serve proposed development	Design and construct with each Plan Unit's respective development plans, subject to master plan coordination.

**Storm Drain**

Culvert under Hwy 1 [HYDRO/WQ-1.0, -6.0]	Increase culvert capacity under Hwy 1, restore outlet erosion control facilities on City property south of Hwy 1, and install velocity reduction structures	Design and construct with first Plan Unit to request final map approval, subject to Reimbursement Agreement
Detention Basin 3 on Plan Unit 1 [HYDRO/WQ-1.0, -2.0]	Increase capacity of existing detention basin on Plan Unit 1	Design and construct with Plan Unit 1, subject to Reimbursement Agreement, provided that temporary retardation is provided on other Plan Units if they develop prior to Plan Unit 1.

Table 2 - Infrastructure Timing Schedule

IMPROVEMENT	DESCRIPTION	TIMING
Detention Basins 1 and 2 on Plan Unit 1 [HYDRO/WQ-1.0, -2.0]	Construct new basin near south boundary of Plan Unit 2, connect it to basin on Plan Unit 1, and improve existing basin at northeast section of Plan Unit 2	Design and construct with Plan Unit 2, subject to Reimbursement Agreement.
Slope Run-off Diversion for Plan Units 2, 6, 7 and 8 [GEO-1a.1, -2.1, HDYRO/WQ-6.0]	Either direct blufftop flows to retardation basin on Plan Unit 1 (requires piping under Hwy 1) or construct downdrains to Hwy 1 along each Plan Unit's frontage on Hwy 1	Design and construct with first project on Plan Units 2, 6, 7 or 8, subject to Reimbursement Agreement

**Other**

Common Area Passive Park [AES-3.1.2]	Construct private park and related amenities, such as water tower, lighting, picnic tables, benches, and trails on Plan Units 1 and 2	Design with master tentative map, bond posted by first Plan Unit to develop for that project's respective share. Construct with second Plan Unit to develop.
Sound Wall/Landscape Perimeter Buffer on Harris Grade Road [AES-1.2, -3.2.1, -3.2.2, NOISE-2a]	Construct sound walls and landscape buffer with pedestrian path if path is detached from roadway	Design and construct with each Plan Unit's respective development plans, subject to coordination
Sound Wall/Landscape Perimeter Buffer on Hwy 1 [AES-1.2, -3.2.1, -3.2.2, NOISE-2a]	Construct sound wall and associated landscape on Plan Unit 1	Construct concurrently with development of Plan Unit 1
Natural Gas Service	Extend Southern California Gas Co mains and laterals to serve proposed development	Design with master tentative map. Construct concurrently with development of each Plan Unit. Existing gas mains located in Harris Grade Road. May be installed by map phasing if proposed within each Plan Unit.
Electric Service	Extend PG&E service or Lompoc Electric service underground to serve proposed development	Design to be included with submittal of the first tract map for the development. Construct concurrently with development of each Plan Unit. Existing electric infrastructure located overhead on Harris Grade Road or along the south side of Highway 1. May be installed by map phasing if proposed within each Plan Unit
Cable Television	Extend Comcast services underground to serve proposed development	Design to be included with submittal of the first tract map for the development. Construct concurrently with development of each Plan Unit. May be installed by map phasing if proposed within each Plan Unit.
Common landscaping and lighting [AES-4.1]	Landscaping of parkways adjacent to internal streets, restoration areas if any, and other internal common area landscaping	Construct concurrently with development of each Plan Unit. Landscaping to be phased within Plan Units according to tentative map phasing.



## VIII. ARCHITECTURAL & SITE DESIGN STANDARDS

The Burton Ranch Specific Plan strives to achieve a development pattern that creates a special sense of place. Residential neighborhoods that are usually considered to have high-quality design are ones that are cohesively planned and well thought out.

This does not mean that everything must look the same. It is the objective of The Burton Ranch Specific Plan to provide an overall development theme, one that provides continuity and creativity, but one that also provides for a coordinated variety in architectural styles. However, development design patterns need to stay within a fundamental design theme utilizing site amenities and architectural guidelines and design development standards specified in this Specific Plan.

The fundamental design plan for the Burton Ranch is rooted in early Lompoc’s historical urban development. From the charming, older “woody” bungalows south of Ocean Avenue to the mission-ranch style of the La Purisima Mission, to the now distant agricultural history in the Burton Ranch itself, The Burton Ranch Specific Plan seeks to bring back some of the historical charm by reflecting it in the coordination of site amenities and the architectural themes of the future development.

### *Site Amenities*

To create a cohesive sense of “place” in the Burton Ranch, this Plan proposes a number of different semi-rural site amenities that will be used throughout the Burton Ranch as individual developments are proposed within it. The features selected consist of:



*Figure 24 –  
Entry Perspective*

**Entry Features.** A coordinated “look” for the primary access points to the Burton Ranch along Harris Grade Road. The access designs place priority on welcoming pedestrians and vehicles alike. The primary features of the entries are rustic-styled screening walls, separate entrances for pathways and generous landscaping.

**Roundabouts.** In addition to street construction standards as described in the Infrastructure Plan, roundabouts will be utilized to provide a practical and aesthetically pleasing alternative to standard intersections. The roundabouts will occur at the intersections along the collector roads as illustrated in the Infrastructure Plan (see Figure 16), and will contain center landscaping, as illustrated in Figures 21 and 22.



Figure 25 –  
Pedestrian Path at Entry Feature

**Multi-purpose and Pedestrian Paths.** Rather than using standard sidewalks, the Burton Ranch will be planned with meandering pedestrian paths that have the appearance of trails. These “trails” will be constructed of colored concrete and treated to have an appearance more of a sandy path than a concrete sidewalk. Wherever feasible, the “trails” will be separated from the roadway by a landscaped parkway. The public right of way will be large enough to accommodate the roadway, the parkway and the trail; however, a homeowner’s association or a local assessment district acceptable to the City of Lompoc will be formed to carry out maintenance of the landscaping within the parkway. Figure 23 shows an example of the Class II Bikeway and Pedestrian Access proposed along Harris Grade Road. Due to topography considerations, the Pedestrian Access may be immediately adjacent to Harris Grade Road or separated, as shown.

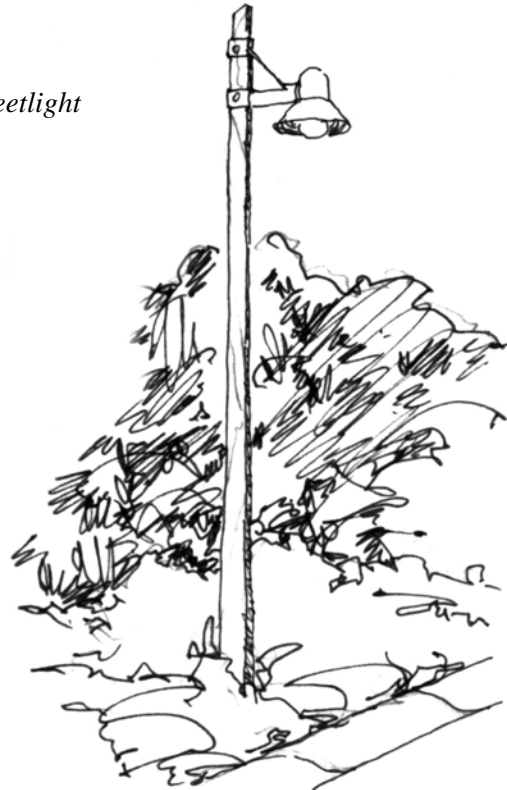
**Streetlights and street signs** will be coordinated as part of a cohesive development pattern and shall be consistent with UTILS 8-12. The Burton Ranch Specific Plan seeks to avoid standard “cobra head” type street lighting and replace it with a more decorative, human scale rustic light fixture that will result in less nighttime glare when the Burton Ranch is viewed from a distance (see Figure 26).



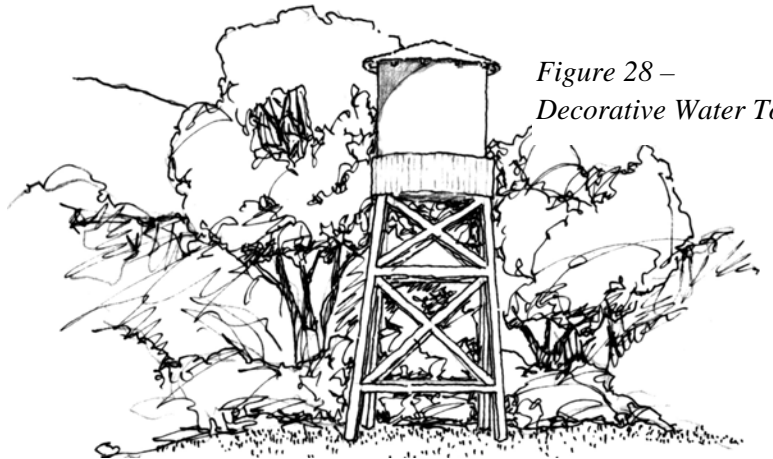
Figure 27 –  
Typical Street Signs

Street signs will be a heavy wood post design, stained dark with white lettering (see Figure 27).

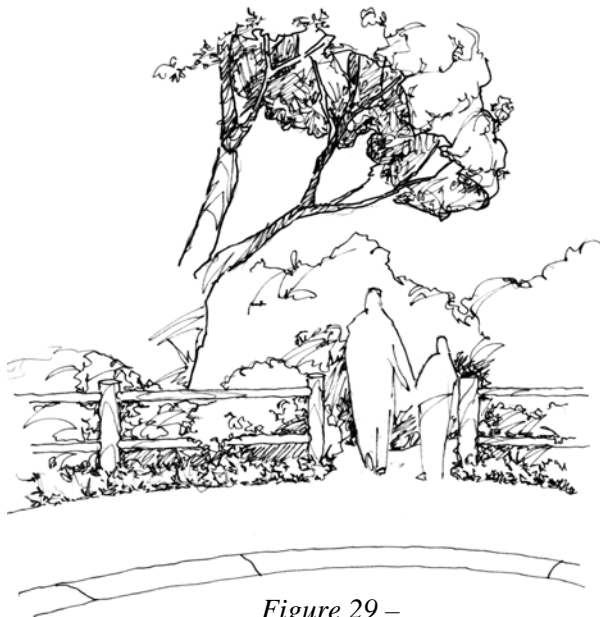
Figure 26 –  
Suggested Streetlight



**Water Tower.** To create a modern-day landmark that relates to the early Lompoc era, a rustic, elevated wood water tank will be constructed in the passive park. The tank will not actually hold water, but may be incorporated into a fountain or other water feature in the passive park (see Figure 28). Structural colors of the water tower shall be muted earth tones and warm shades of gray, greens and cream colors, or other colors as approved by the Planning Division. [AES-3.1.2]

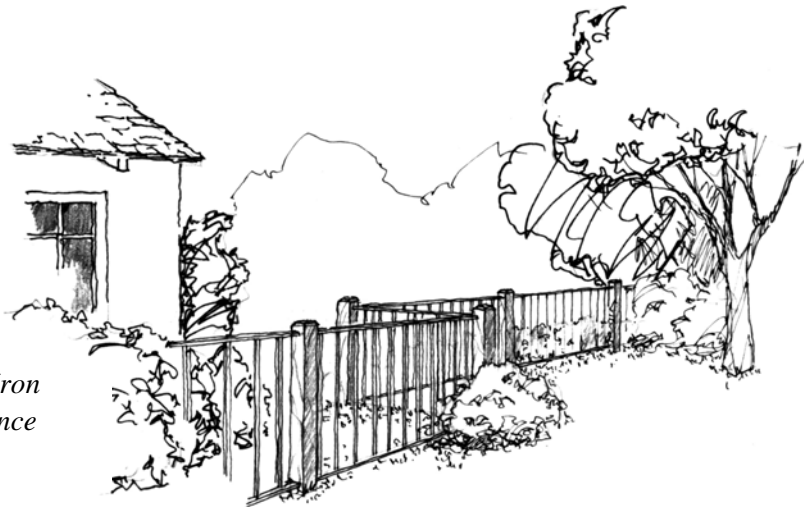


*Figure 28 –  
Decorative Water Tower*



*Figure 29 –  
Split Rail Fence*

**Fences.** Where the interior streets front common open spaces and in the passive park, split rail or pole and post fencing will be utilized to enhance the rustic ranch atmosphere (see Figure 29). This type of fencing is encouraged on private lots where front yard fencing is desired. At rear yards that back onto common open spaces, a rail fence or an iron fence design is encouraged (see Figure 30). At side yards and rear yards between lots where privacy is necessary, solid wood fences are encouraged.



*Figure 30 – Typical Iron  
Picket/Wood Post Fence*

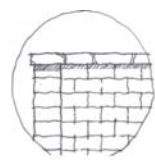


Figure 31b

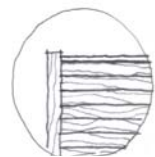


Figure 31a

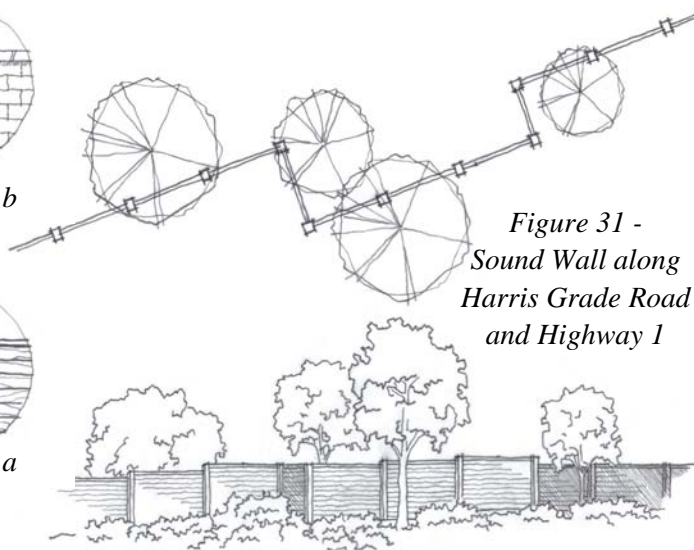


Figure 31 -  
Sound Wall along  
Harris Grade Road  
and Highway 1

**Sound Walls and Landscaped Perimeter Buffers.** Sound walls along Harris Grade Road and Highway 1 shall be staggered to promote high-quality visual interest and shall be set back from final roadway pavement an average of 30 feet to accommodate sufficient landscaped perimeter buffers consistent with RES 5 and RES 6 (see Figure 31). Sound walls should vary in height between 6 and 8 feet from

finish grade and shall be placed on landscaped berms when the natural grade of the wall is below street grade. Sound walls shall have a rustic, ranch character and may be constructed of heavy wood planks and posts (Figure 31a), stone or split face concrete block walls with decorative caps (Figure 31b), or other material approved by the Planning Commission.

**Mailboxes** will be a decorative rural design in a design acceptable to the US Postal Service (see Figure 32).

### ***Site Design Development Standards***

SITE - 1. Design of site amenities for the Burton Ranch, including primary entry features, screening walls, streets and pathways, street lighting, street signs, common area fencing, passive park features and mailboxes shall be consistent with the examples of these features illustrated in Figures 24 through 32 above. These illustrations are not intended to represent definitive design, but rather examples of desired styles.

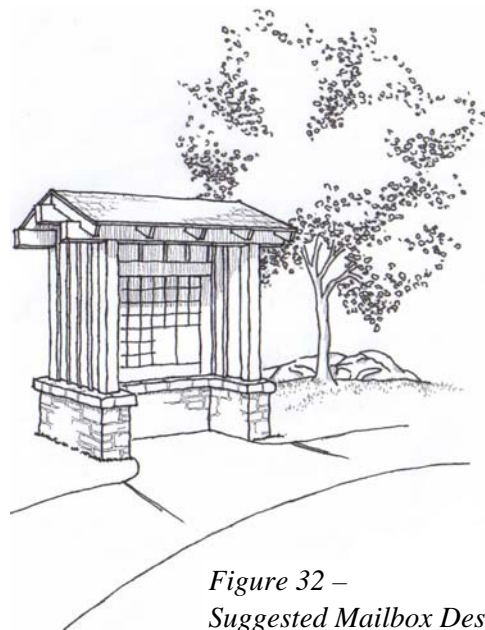


Figure 32 –  
Suggested Mailbox Design

SITE - 2. Public pedestrian pathways are intended to take the place of urban standard sidewalks. Pathways may be located in places that will create connections to points of interest and locations beyond the Burton Ranch. The pathways may be pedestrian routes through open spaces as well as along streets. Pathways along public streets shall be constructed of colored concrete, treated to look like a trail. Where pathways

are provided through parks or open spaces not adjacent to a public street, they may be constructed of shale, rolled base, decomposed granite or concrete.

SITE - 3. Streets, pedestrian pathways, and decorative street lighting shall be within public rights-of-way and shall be maintained by the City of Lompoc. Other site amenities described herein that are not City standard improvements, such as landscaped parkways, entry features, private park improvements and private landscaped open spaces, shall be maintained by either a homeowner's association or by an assessment district acceptable to the City of Lompoc.

### ***Grading & Drainage Design***

Soils in the Burton Ranch, as in all Lompoc Valley areas, are sandy, and graded slopes are easily eroded if not properly designed and landscaped. Grading design must also be flexible in order to accommodate the maximum preservation of oak trees on the site.

It is important that grading design be accomplished in an aesthetically pleasing manner. In general, this translates to avoiding high or steep man-made cut and fill slopes. Slopes should have varying steepness to achieve a natural look, and graded slopes should be landscaped to enhance their beauty as open space buffers.

Grading must also be flexible enough to allow creative solutions to tree preservation. Low walls, contoured grading and grading within the dripline of existing oak trees where necessary to save a tree are important ways to ensure that the maximum number of oak trees are saved, while not restricting reasonable residential development at the allowed density.

Drainage design is closely associated with grading. A master drainage study was prepared by Penfield & Smith Engineers (see Revised FEIR Appendix E-2) that identifies a number of ways in which to adequately conduct drainage, which generally flows from north to south and crosses under Highway 1 and through the City's Ken Adam Park. Among other items, the Penfield & Smith study recommends placement of a new drainage pipe under Highway 1 at the natural basin in Plan Unit 1. This pipe will avoid an existing problem of water overflowing the existing basin and sheet flowing over Highway 1. The new pipe should be "jacked" under Highway 1, avoiding disturbance to the highway itself during construction.

Existing natural drainage is also causing slow erosion of the bluffs along the northwest boundary of Plan Unit 2. The Penfield & Smith study recommends diverting the water that presently flows over the bluff to a basin in Plan Unit 1 or Plan Unit 2. This can be accomplished with installation of "brow ditches" along the top of the bluff.

All of the following standards are based on preliminary recommendations and may be amended by future geotechnical report conclusions and recommendations prepared by a professional civil or geotechnical engineer.



## ***Grading & Drainage Design Development Standards***

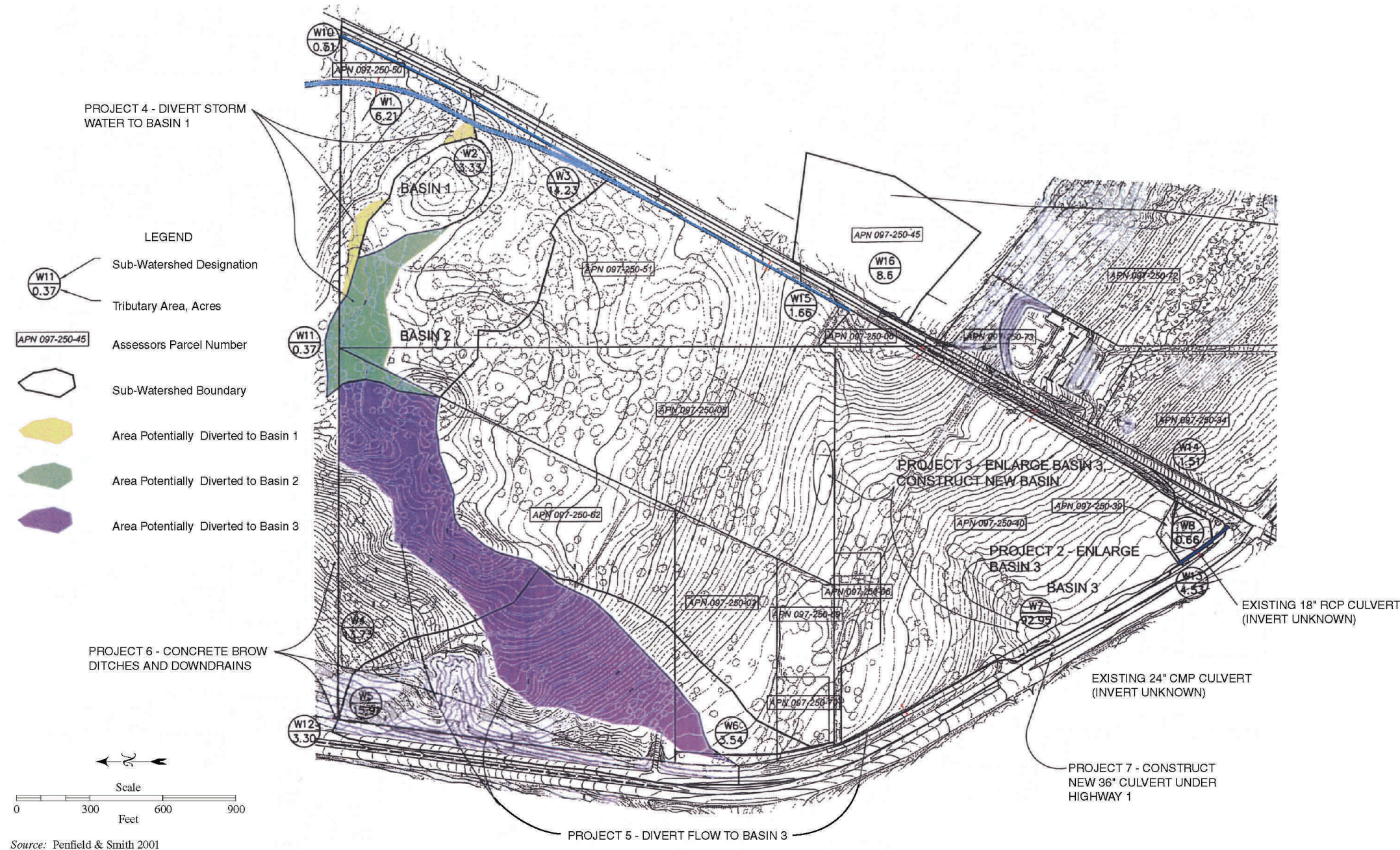
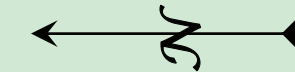
- GR - 1. Project grading shall follow the contour of the existing project topography to the maximum extent feasible, incorporating residential building footprints that are aligned parallel to project slopes, particularly at the perimeter of the project site. [AES-3.1.1]
- GR - 2. Cut and fill slopes should be no greater than 2:1, and should generally vary from 2:1 to 4:1. In retention basins, side slopes should vary from 4:1 to 6:1 or flatter where possible. [GEO-1b.1]
- GR - 3. Retaining walls shall be designed to be up to a maximum of 4 feet above grade. This maximum height may be amended by future geotechnical report conclusions, up to a maximum of 6 feet above grade. Gravity walls (dry stacked walls) are encouraged in common areas. Standard masonry block walls are acceptable between lots, where necessary. Where private lot fencing is required, it may be constructed adjacent to or as part of a retaining wall when properly engineered. [GEO-1a.1 and GEO 1b.1]
- GR - 4. Cut and fill slopes in common areas shall be hydro-seeded and landscaped with trees and shrubs as soon as practical after completion of grading. Permanent irrigation shall be required in common areas that contain ornamental landscaping; temporary irrigation may be provided for revegetated areas with only native species. On private lots, slopes over 6 feet high shall be hydro-seeded on or before completion of construction of buildings on those lots. [GEO-1a.1 and GEO 1b.1]
- GR - 5. All grading and drainage design for individual development plans shall be consistent with the Penfield & Smith Master Drainage Study dated August 30, 2001 (See Figure 33 for project drainage options). [HYDRO/WQ-1,2 and 6, GEO-2.1]
- GR - 6. All new and existing drainage shall be directed away from the bluffs at the northwest boundary of Plan Unit 2 to a basin in Plan Unit 1 or Plan Unit 2. [HYDRO/WQ – 6.0, GEO-2.1]
- GR - 7. All grading shall be designed in accordance with the recommendations of a soils engineer. Any development plan filed subsequent to the approval of this Specific Plan shall include the submittal of an engineering soils report. [GEO-1a.1 and GEO 1b.1]
- GR - 8. Final Map Public Improvement Plans and SWPPP shall be consistent with HYDRO/WQ-6.1 to address potential impacts from erosion.

## Drainage Improvements Figure 33

This figure is from the "Master Drainage Planning Report" prepared by Penfield & Smith Engineers, dated August 30, 2001 and incorporated into the Burton Ranch Specific Plan Final EIR.

The figure depicts seven options for drainage improvements in the Burton Ranch Specific Plan area.

As the site design details are finalized, the project engineer will determine which of these projects (or combination of projects) will be incorporated to achieve adequate drainage on the property





## Architectural Guidelines

The City of Lompoc's Architectural Review Guidelines (Ordinance 1405(95)) sets forth many important design features of new development. In order to achieve this Plan's objective of cohesive community design standards, additional guidelines are proposed herein. These additional guidelines are intended to be complementary to the City's Guidelines.

The design of buildings in The Burton Ranch Specific Plan area is intended to connect to the rural historic character of the site design amenities described above. While early Lompoc was primarily comprised of wood bungalow style homes, other styles were present as well, including mission, country Victorian, and ranch styles.



In addition to style, certain types of architectural features are important, including front porches large enough for sitting that are oriented to the street, with open railings for a welcoming appearance. Dormer windows, shutters and stepped back second floors are other important features that speak of old-time quality. Garages, when they were provided on early homes (and sometimes they weren't), were often placed in the rear of the property, where their visual prominence was not so overpowering as in most modern day home designs. Homes were often placed closer to the street and did not follow the standardized zoning

setback requirements we have today. Finally, large species of street trees were planted that have reached maturity, creating attractive canopies over the street that lend significantly to the visual appeal of the older neighborhoods.

It is recognized that while much of the housing in The Burton Ranch Specific Plan area may be designed and built by production developers, residential lots may also be sold to merchant builders or individuals choosing to build their own custom homes. It is not the intention of this Plan to stifle creativity or to impose upon the landowner a narrow set of design styles or policies that will cause monotonous development. It is the intent of this Plan to encourage creativity and a variety of compatible building styles. Above all, it is the objective of this Plan that development in the Burton Ranch exhibit quality design parameters. However, development design patterns need to stay within a fundamental design theme utilizing site amenities, architectural guidelines and the design development standards specified in this Specific Plan.

## *Architectural Design Development Standards*

- ARCH - 1. Development within the Burton Ranch shall be consistent with The City of Lompoc's Architectural Review Guidelines (Ordinance 1405(95)).
- ARCH - 2. Building design shall generally be reminiscent of early residential styles in the Lompoc Valley. Styles that exhibit a rustic, traditional character are depicted in this Plan. They include, but are not necessarily limited to bungalow, craftsman, ranch, country Victorian, European country, cottage, barn and mission. Styles that shall be avoided are southwest pueblo and contemporary, as they do not relate to the Lompoc community. [AES-3.2.3]
- ARCH - 3. Building colors shall be appropriate to a rural atmosphere. Bright colors are not acceptable. Building colors shall be limited to muted earth tones and warm shades of gray, greens and cream colors, or other colors as approved by the Planning Division. [AES-3.2.3]
- ARCH - 4. Roofing materials shall consist of rich tones, not light colors that will be visually prominent from a distance. All roofs shall be tile roofs (concrete or clay is acceptable). Roofs shall be constructed of non-reflective material. Architectural grade asphalt composite shingles may be used on the Craftsman style units subject to the City Planner's review and approval of a color and material product board identifying the color and quality of the materials.<sup>1</sup> [AES-3.2.3]
- ARCH - 5. Front porches that are deep enough for sitting areas are encouraged. Main entries on the side of the house are discouraged. [AES-3.2.3]
- ARCH - 6. The footprints of the homes shall be varied for architectural interest. Square boxes are discouraged, unless other details of the homes create offsetting visual interest. For example, some craftsman homes are very "boxy" in their basic footprint, but well-executed design details often make their structural simplicity a benefit. [AES-3.2.3]
- ARCH - 7. Second floors shall be partially stepped back from the first floor walls to break up building mass (see Figure 34). In general, the floor area of second stories should be substantially smaller than the floor area of the first floor. [AES-3.2.3]

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<sup>1</sup> Burton Ranch Specific Plan Amendment No. 1 adopted by City Council Ordinance No. 1547 (07) on September 4, 2007.



*Figure 34 – Example of Well-Executed Massing*

ARCH - 8. A variety of materials should be used on the exterior of the home, but always in tasteful keeping with the style of the home. Combinations of stucco, wood and stone veneers are encouraged. Stone or brick wainscots that appear to be “planted on” should be avoided. Also to be avoided are “plant-ons” that have a fake look. [AES-3.2.3]

ARCH - 9. When Mission style homes are proposed, their elevations must be of particularly high visual quality. Because many “mission” style homes can easily take on a low quality “tract housing” appearance, special design considerations should be given for Mission style homes. Such exterior details may include low roof pitches, generous roof overhangs, windows recessed from the face of the exterior walls, iron work, and balconies (see example below). [AES-3.2.3]

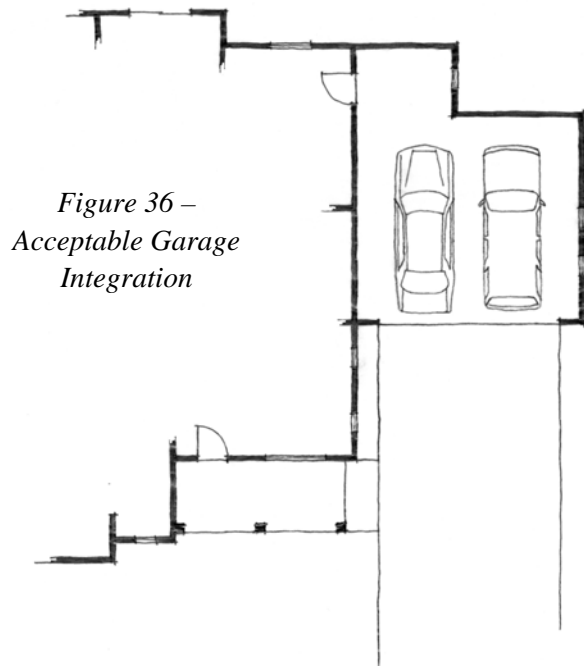


*Figure 35 – Example of Desirable Exterior Details*

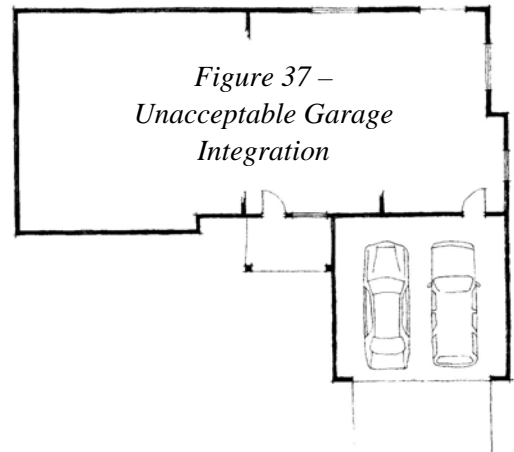
ARCH - 10. Details to enhance the visual appeal of the elevations of the home are encouraged, such as shutters, dormer windows, wood trim around windows or recessed windows, generous roof overhangs on styles that typically feature large overhangs, and balconies with open railings. [AES-3.2.3]



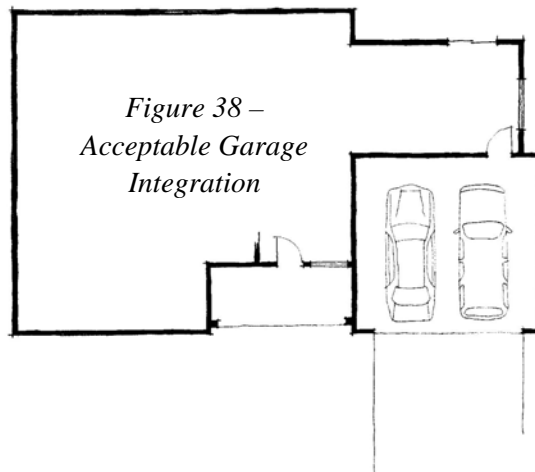
ARCH - 11. The garage is important, but it should not be the dominant feature of the front elevation of the home. Garage doors are encouraged to be placed either flush with or behind the front face of the home (see Figures 36-38).



Alternatively, garages may have a side entry so that the doors are not prominent from the front elevation. Where it is possible to locate the garage to the rear of the lot, that is also desirable.



A variety of garage configurations is encouraged and solutions other than those described here are acceptable, provided that the goal of minimizing the visual prominence of the garage at the front elevation is achieved. [AES-3.2.3]



- ARCH - 12. Due to the fact that many rear elevations will be visually prominent from public viewing corridors, architectural styling shall be applied to such rear elevations as well as the front elevations. [AES-3.2.3]
- ARCH - 13. Where rear and side yard fencing on private lots faces public viewing corridors or common areas, such fences should be designed as a visually open fence design such as split rail or picket with a maximum height of six feet (see Figures 29 and 30). Side yard fences between lots may be 6 foot high solid fencing, for privacy purposes. Where private lots abut screening walls along Harris Grade Road or Highway 1, standards for design of those walls are described elsewhere in this Plan and shall supersede this guideline. If fences are stained or painted, acceptable colors shall be either natural wood tones or dark earth tones, excepting decorative white picket fences no higher than three feet. [AES-3.2.3]
- ARCH - 14. The City Planning Commission shall ensure compliance with these architectural guidelines prior to approval of development plans and subdivision maps submitted in The Burton Ranch Specific Plan area. Custom homes on individual lots shall be reviewed in accordance with this Specific Plan and may be approved by the City Planner prior to the issuance of building permits. The City Planner may refer the plans to the Planning Commission for review and approval if deemed necessary. [AES-3.2.3]

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## ***IX. IMPLEMENTATION***

The Burton Ranch Specific Plan will be implemented through a five-year development agreement, an overlap annexation agreement and a Final Environmental Impact Report and mitigation measures, as well as development plans and subdivision maps that will follow the approval of this plan and annexation of the property into the City of Lompoc.

### ***City Actions Necessary for Implementation***

Although development plans will be proposed by individual property owners within The Burton Ranch Specific Plan area, the City of Lompoc plays an important role in facilitating implementation. The following actions by the City are needed for implementation:

- ❖ Conduct environmental review, including impacts from anticipated development in the Burton Ranch consistent with the provisions of this Plan and the California Environmental Quality Act.
- ❖ Adopt an ordinance, a five-year development agreement and an overlap annexation agreement approving The Burton Ranch Specific Plan as the implementing regulation for future development of the property within the City of Lompoc.
- ❖ Apply and receive approval from the Local Agency Formation Commission for the boundary change to the City of Lompoc and Mission Hills Community Services District (the property is presently within the Sphere of Influence of the Mission Hills Community Services District).
- ❖ Approve development plans and subdivision maps submitted in conformance with this Plan.

### ***Property Owner Actions Necessary for Implementation***

The following actions must be undertaken by the property owners or any succeeding owners in interest:

- ❖ Upon adoption of The Burton Ranch Specific Plan and completion of annexation, property owners will prepare and submit for City approval, specific development plans and subdivision maps designed in conformance with this Plan.
- ❖ Property owners or developers shall install infrastructure in phases as development of each parcel is proposed, as shown in Table 2.

### ***Relationship to Zoning and Subdivision Ordinances***

The land use standards contained in The Burton Ranch Specific Plan constitute the primary zoning provisions for property in The Burton Ranch Specific Plan area. If there is a conflict

between the regulations of the City Zoning or Subdivision Ordinances and this Plan, the standards provided herein shall prevail. Where guidance is not provided in the Specific Plan, the provisions of the Zoning Ordinance and Subdivision Ordinance shall prevail.

The City Planner shall have the responsibility to interpret the provisions of this Plan. If an issue or situation arises that is not sufficiently provided for or the intent of which is not clearly understandable, those regulations of the Zoning Ordinance that are most applicable to the overall intent of this Plan shall be used by the Community Development Director as guidelines to resolve the unclear issue or situation. In the event that the Director and a property owner or developer are in disagreement over such interpretation, the matter may be appealed to the Planning Commission and the City Council.

The procedure for development and subdivision proposals occurring after the expiration of the Development Agreement will be those City-wide procedures in effect at the time the subdivision and development applications are made, provided that the application requests meet all development standards of the Burton Ranch Specific Plan.

### ***Amendments***

Upon the request of the property owner or developer, the Community Development Director may approve minor amendments to The Burton Ranch Specific Plan, including mitigation measures and monitoring program, as an Administrative Modification per Development Agreement section 4.02(b), or as stated herein after the expiration of the Development Agreement. Such Administrative Modifications include changes to the plan that would result in development standards with a 10% or less change from the standards contained herein. Where no numerical value can be placed on the Modification, the Director may approve an Administrative Modification when it can be demonstrated that the proposed adjustment would enhance the overall appearance or function of the project and would advance the general objectives of this Specific Plan.

All other amendments to this Specific Plan require the same procedure as used for its original adoption.



## ***X. CONSISTENCY WITH CITY OF LOMPOC GENERAL PLAN***

As required by law, a specific plan must be consistent with the General Plan. This section compares The Burton Ranch Specific Plan to the City of Lompoc General Plan. The comparison is made to the City General Plan, as this Specific Plan is proposed concurrently with a request to annex the Burton Ranch to the City of Lompoc.

Selected provisions of the General Plan that are applicable to The Burton Ranch Specific Plan and a discussion of consistency is as follows:

### **Aesthetics/Visual Resources**

#### ***Land Use Element***

**Policy 2.3** *The City shall prohibit new land uses within or adjacent to residential neighborhoods when such land uses would adversely affect the character of the neighborhood.*

**Discussion:** **Potentially consistent.** Incorporation of measures limiting structures adjacent to public view corridors of Harris Grade Road and State Highway 1 to a single-story height, requiring landscaped open space perimeter buffers adjacent to these roadways, and decorative texturing and landscape screening of perimeter sound walls would minimize effects on the character of the future residential buildout of the area. Therefore, the proposed project would be consistent with this Land Use Element policy.

**Policy 2.5** *The City shall encourage creative site designs in residential developments which address natural constraints and protection of aesthetic qualities.*

**Discussion:** **Potentially consistent.** Proposed Burton Ranch Specific Plan development standards and additional measures in this EIR have been proposed in order to maintain the integrity of onsite natural resources and the protection of aesthetic qualities. The small drainage swale supporting seasonal wetland vegetation in Land Use Area 1, the 2-3 acre Land Use Area 6 that incorporates a stand of oak trees in a passive park, and the 10-acre Land Use Area 7 that is highly constrained by steep topography, erosive slopes, and dense Burton Mesa chaparral ground cover are designated in the Burton Ranch Specific Plan as open space. Incorporation of measures limiting structures adjacent to public view corridors of Harris Grade Road and State Highway 1 to a single-story height and requiring landscaped open space buffers adjacent to these roadways would ensure consistency with this Land Use Element policy.

**Policy 5.8** *Development proposals in the vicinity of natural objects that have unique aesthetic significance shall not be permitted to block, alter, or degrade existing visual qualities without the provision of suitable visual enhancement. This may include open space, eucalyptus groves, or vegetation that serves as a view corridor or has important visual attributes. Development proposals shall be sited to ensure that these features are retained or replaced to the extent feasible,*

*resulting in minimal view impairment.*

Discussion: **Potentially consistent.** Development standards and additional measures in this EIR have been proposed in order to retain aesthetic features, to minimize the degradation of visual qualities, and to enhance vegetation visible from scenic roadways. Areas that are highly constrained by topographic and environmental features have been designated as open space and/or incorporated into the passive park. The Burton Ranch Specific Plan would establish landscaped open space buffers along project boundaries in order to enhance views of the project site from adjacent scenic roadways. Therefore, the proposed project would be consistent with this Land Use Element policy.

**Policy 5.9** *Plantings that serve to screen views of residential development, or that help to maintain a natural-appearing landscape, shall be retained to the extent feasible. Such plants could be thinned selectively if thinning would improve view corridors or protect public health, safety, and welfare. If specific trees are removed, such as eucalyptus trees, replacement trees at the appropriate density (native species when possible) shall be substituted to provide suitable screening while retaining important view corridors.*

Discussion: **Potentially consistent.** Development standards and additional measures in this EIR have been proposed in order to maintain a natural-appearing landscape, and to provide suitable perimeter screening from adjacent scenic roadways. The seasonal wetland vegetation in Land Use Area 1, the visually prominent stand of oak trees in the Land Use Area 6 passive park, and the Burton Mesa chaparral vegetation in Land Use Area 7 would be retained. The Burton Ranch Specific Plan would establish landscaped open space buffers along project boundaries in order to maintain and enhance the scenic view identified in the Urban Design Element looking southwest across the project site from Harris Grade Road.

### *Urban Design Element*

**Policy 1.3** *The City shall protect and enhance the views along the scenic roads noted on the Scenic Ridgelines and Roads map.*

Discussion: **Potentially consistent.** Incorporation of measures limiting the height of detached single-story residences to one story in Land Use Area 2 along Harris Grade Road and State Highway 1, as well as measures addressing perimeter fencing and landscape screening, would ensure that the proposed project would be in conformance with this policy.

**Policy 3.1** *The City shall protect and enhance the positive identity of residential neighborhoods.*

Discussion: **Potentially consistent.** Proposed Burton Ranch Specific Plan Design Guidelines require residential building designs to be reminiscent of early residential styles of the Lompoc Valley. These would include, but would not be limited to bungalow, Craftsman, ranch, country Victorian, European country, cottage, rural vernacular, and mission styles. The development of the onsite water well enclosure adjacent to Harris Grade Road would comply with these guidelines. Implementation of these design standards would ensure that the positive identity and historic rural character of the Lompoc community would be preserved.

**Measure 13** *The City shall review the street-naming and street-numbering policy for future developments [Policy 3.1].*

Discussion: **Potentially consistent.** Prior to site development, the City shall review the Circulation and Infrastructure Plan for the Burton Ranch Specific Plan area.

**Measure 22** *The City shall condition approval of individual development proposals to assure that development shall preserve important view corridors, where feasible, by identifying and preserving the attributes of the view corridor that characterize its significance (e.g. framing elements and presence or absence of impinging details) as seen from roadways, pedestrian paths, or other public vantage points to avoid new obstruction. Buildings shall be sited so as to minimize view obstruction from sensitive vantage points. This measure shall be accomplished through amendment of the zoning ordinance to include standards for view protection as indicated in this measure [Final EIR Urban Design Mitigation Measure 2a].*

Discussion: **Potentially consistent.** Incorporation of measures requiring detached single-story residences in Land Use Area 2 along Harris Grade Road and State Highway 1, as well as measures addressing perimeter fencing and landscape screening would ensure that the proposed project would preserve important public view corridors. Open space buffers shall be provided along Harris Grade Road with a minimum setback of 50 feet from the roadway for all new residential units.

**Measure 24** *The City shall continue to review development proposals on a project-specific basis with added attention to avoidance of degradation to objects of aesthetic and/or historical significance. New development shall be subject to design review as part of the City's project approval process [Final EIR Urban Design Mitigation Measure 4a].*

Discussion: **Potentially consistent.** The City of Lompoc shall review all development plans associated with the Burton Ranch Specific Plan area prior to Final Map approval and approval of Land Use Permits for each development phase.

## Air Quality

### *Resource Management Element*

**Policy 7.1** *The City shall participate in regional air quality planning programs to attain federal and state air quality standards.*

Discussion: **Consistent.** The City is subject to the air quality control measures implemented as part of the 2001 CAP.

**Policy 7.3** *The City shall encourage the APCD to: 1) enforce air quality rules and regulations in a uniform manner and 2) maintain air quality monitoring stations in the Lompoc Valley.*

Discussion: **Consistent.** 1) The APCD has established rules and regulations that apply uniformly throughout Santa Barbara County. 2) The APCD maintains one monitoring station and oversees the operation of another contractor-operated station in the City of Lompoc.

**Policy 7.4** *The City shall consult with the APCD during the review of any development project which may emit air pollutants or is in the vicinity of a source of air pollutants.*

Discussion: **Consistent.** The City provided a copy of the Notice of Preparation and Initial Study to the APCD for review and comment. The Draft EIR shall also be provided to APCD.

**Policy 7.5** *The City shall minimize air quality impacts resulting from construction activities regulated by the City.*

Discussion: **Potentially consistent.** Mitigation measures AQ-2.1 through AQ-2.4 would be implemented to minimize air quality impacts resulting from construction activities.

**Policy 8.1** *The City shall require development projects to minimize vehicle-related air quality impacts.*

Discussion: **Potentially consistent.** As described under Impact AQ-3.2, the project would incorporate land use and project design components that would encourage alternative forms of transportation and reduce vehicle emissions. These would include 1) components to reduce the reliance on vehicles and encourage walking; 2) components to encourage biking; and 3) components to increase site safety and security.

**Measure 41** *The City shall work with APCD to develop guidelines for assessing and mitigating project-related air quality impacts pursuant to CEQA.*

Discussion: **Consistent.** The CEQA air quality analysis for this project has been performed in accordance with the guidance provided in the APCD's *Scope and Content of Air Quality Sections in Environmental Documents* (2002).

**Measure 45** *The City shall condition approval of individual development proposals on implementation of a dust abatement program.*

Discussion: **Potentially consistent.** Mitigation measures AQ-2.1 through AQ-2.3 would be implemented to minimize air quality fugitive dust impacts resulting from construction activities.

**Measure 46** *The City shall condition approval of individual projects upon implementation of the following mitigation measures:*

*Activity management techniques shall be employed by reducing the number of pieces of equipment used simultaneously; increasing the distance between the emission sources; reducing or changing the hours of construction; scheduling activity during off-peak hours (when feasible); and requiring a phased schedule for construction activities to even out emission peaks.*

*Emissions from construction equipment shall be reduced to the maximum extent feasible by substituting clean-burning fuels for diesel fuel used in these equipment, by ensuring proper maintenance of these equipment, or by installing an engine timing retard in these equipment.*

*Require that construction of large projects be timed to avoid significant periods of overlap.*

Discussion: **Potentially consistent.** Implementation of mitigation measure AQ-2.4 would be sufficient to meet the requirements of this measure.

## **Biological Resources**

### *Resource Management Element*

**Policy 2.1** *The City shall ensure that the biologically significant areas identified on the Biologically Significant Areas Map are preserved.*

Discussion: **Potentially Consistent.** While the City of Lompoc General Plan Revision Biologically Significant Areas map does not identify any habitats on-site as significant, this map was a regional overview and did not incorporate results of on-site intensive surveys. Since then, several biological studies prepared in association with the Burton Ranch Specific Plan have identified significant biological habitat on-site. In addition, the northern border of the project site abuts the BMER, a biologically significant area. The BMER would be indirectly impacted by the proposed project by the loss of high quality Burton Mesa chaparral on the northern portion of the project site. Locating future residential development as to maximize avoidance of Burton Mesa chaparral (mitigation measure BIO-1.1a), creating a buffer area between project development and the BMER (mitigation measure BIO-1.1b), implementing measures to protect the buffer area and BMER during construction (mitigation measure BIO-1.1b), and implementing a Landscape and Open Space Management Plan that includes monitoring a fire management zone for controlling invasive exotic plant species (mitigation measure BIO-1.5), and maximizing protection of individual oak trees during construction (mitigation measure BIO-3.1) would result in project consistency with the policy.

**Measure 6** *The City shall amend the Zoning Ordinance to add an environmentally sensitive resource overlay zone in order to protect environmentally sensitive resources including biologically significant habitats. [Policy 2.1 and 2.2]*

Discussion: **Potentially Consistent.** The reduced project alternative would be consistent with this measure, as it would allow a portion of the Burton Mesa chaparral on the project site to be protected as environmentally sensitive habitat. In addition, it would also ensure a sufficient buffer area to protect the BMER, designated a Biologically Significant Area on the Biological Significant Areas map in the Resource Management Element of the City's General Plan. While the City of Lompoc General Plan Revision Biologically Significant Areas map does not identify any habitats on-site as significant, recent biological surveys have identified the presence of high-quality Burton Mesa chaparral within the project area.

**Measure 7** *The City shall amend the Zoning Ordinance to ensure that permitted activities in the environmentally sensitive resource overlay zone will not damage biologically significant habitats. Where no feasible alternative locations exist for the activity, replacement habitat shall be required at a 1:1 ratio of any biologically significant habitat located within the overlay zone, which is damaged or disturbed by development. [Policy 2.1]*

Discussion: **Potentially Consistent.** The proposed project is outside of the current environmentally sensitive resource overlay zone because the project is located outside the City's sphere of influence. However, the project site includes



environmentally sensitive habitats similar to those included in the environmentally sensitive resource overlay zone. Implementation of mitigation measures proposed in the EIR would ensure project consistency with this policy measure.

**Measure 9** *The City shall amend the Grading Ordinance to require temporary fencing to be installed at the edge of biologically significant habitats prior to construction [Policy 2.1].*

Discussion: **Potentially Consistent.** Implementation of mitigation measure BIO-3.1 that requires protection of individual specimen oak trees not affected by the proposed project development, would ensure project consistency with this policy measure.

**Policy 2.2** *The City shall protect the valuable natural resources of the Santa Ynez River and tributaries, which serve as flood channels, wildlife habitats, critical links in Lompoc's water supply, and components of the City's urban form. Watercourses shall be retained in a natural state, rather than be concrete-lined or placed underground, so long as proper flood protection is provided.*

Discussion: **Potentially Consistent.** The natural drainage on the site would be retained. Implementation of mitigation measure BIO-5 would ensure site run-off would not contain any toxins or sediments would protect the downstream resources, including the Santa Ynez River, and ensure project consistency with this policy.

**Measure 14** *The City shall amend the Zoning Ordinance to require the preparation of maintenance and management plans for natural habitats affected by development [Policy 2.2 and 2.3].*

Discussion: **Potentially Consistent.** Implementation of mitigation Measure BIO-1.5, which requires the preparation of a landscape and open space management plan, would ensure project consistency with this policy measure.

**Measure 15** *The City shall amend the Zoning Ordinance to require landscape plans for projects adjacent to natural habitats to use local native vegetation, which is compatible with the natural habitat [Policy 2.2].*

Discussion: **Potentially Consistent.** Implementation of mitigation Measure BIO-1.5, which requires the preparation of a landscape and open space management plan, would ensure project consistency with this policy measure.

**Policy 2.3** *The City shall encourage the restoration and management of natural habitats for wildlife enhancement and public enjoyment.*

Discussion: **Potentially Consistent.** The proposed project would result in an overall net loss of significant natural habitats for wildlife, though Land Use Area 7 would retain 10 acres of Burton Mesa chaparral habitat. Implementation of mitigation measures BIO-1.1c, -1.1d, and 1.1e, requiring the purchase and preservation of equivalent acreage of Burton Mesa chaparral, implementation of an Off-site Habitat Restoration Plan, and, if necessary, a fee-per-acre payment into the existing Santa Barbara County Burton Mesa Chaparral Management Fund, would achieve project consistency with Policy 2.3.

**Policy 2.4** *The City shall encourage the provision, maintenance, and protection of direct public access to publicly-owned watercourses and shall integrate watercourses with non-motorized trails and other open space.*

Discussion: **Potentially Consistent.** There are no publicly-owned watercourses on the project site.

**Policy 2.5** *The City shall ensure that the biologically-significant habitats identified on the Resources Management map are preserved.*

Discussion: **Potentially Consistent.** While the City of Lompoc General Plan Revision Biologically Significant Areas map does not identify any habitats on-site as significant, this map was a regional overview and did not incorporate results of on-site intensive surveys. Since then, several biological studies prepared in association with the Burton Ranch Specific Plan have identified significant biological habitat on-site. The 93 acres of Burton Mesa chaparral on-site are recognized as a biologically significant habitat by the Biological Resources Study prepared by the City of Lompoc. Other native habitats such as oak savanna, oak trees and coastal scrub are also important wildlife habitat, although these habitat types are not identified as a biologically significant resource. The project site also supports several sensitive plant and animal species. The proposed project would result in an overall loss of these native habitat types. Implementation of mitigation measures BIO-1.1c, -1.1d, and -1.1e, requiring off-site restoration of Burton Mesa chaparral, would ensure project consistency with Policy 2.5.

## **Cultural Resources**

### *Resource Management Element*

**Policy 3.3** *The City shall use the Archeological Sensitivity Zones map to determine the type and extent of archaeological resource evaluation necessary for development projects.*

Discussion: **Consistent.** The proposed project area is designated within the High Sensitivity Zone map for archaeological and cultural resources. Even though no prehistoric or historic resources were identified on the property during the intensive Phase 1 Archaeological Study, the EIR mitigation measures include the development of a Construction Treatment Plan in the unlikely event of discovering unknown archaeological materials during construction, consistent with Lompoc Cultural Resources Study direction.

**Policy 3.4** *The City shall protect significant archeological resources for the enjoyment and edification of future generations.*

Discussion: **Consistent.** No archaeological sites are recorded in the proposed project area, and no potentially significant cultural materials were observed during the Phase 1 survey. Given the overall good reliability of the survey, it is unlikely that this area was occupied prehistorically or historically.

**Policy 3.8** *As required by CEQA, the City shall continue cultural resource investigations as part of the environmental review for all development projects.*

Discussion: **Consistent.** The Phase 1 investigation of the project site complies with this policy.

**Policy 3.9** *The City of Lompoc shall use the “California Comprehensive Heritage Resources Management Plan” guidelines and standards for administering cultural resource investigations. The plan provides guidance with respect to: research design criteria; evaluation of cultural resources using the three-phased methodology noted in Section 6.2 of the Cultural Resources Study; archiving cultural resource*

*materials; and professional qualifications for cultural resource investigators, including individuals qualified for membership in the Society of Professional Archeologists.*

Discussion: **Consistent.** A Phase 1 survey was conducted to evaluate the level of impact to cultural resources. A Register of Professional Archaeologists-qualified archaeologist supervised the Phase 1 survey.

## **Geology & Soils**

### *Safety Element*

**Policy 1.4** *The City shall avoid placement of critical facilities in hazardous areas as identified on the Geologic and Soils Hazard Areas map, including slope and liquefaction hazard areas.*

Discussion: **Consistent.** The project is not located in a City designated geologic hazard area. However, the site is not currently within the City nor the City's sphere of influence, so no such designated areas would be expected on the site. The project site would potentially be subject to seismically induced ground failure, including liquefaction. Although a school has been proposed for Land Use Area 5, the potential for liquefaction would be reduced to less than significant levels through incorporation of mitigation measures GEO-1a.1 and GEO-1a.2, resulting in project consistency with this policy.

In addition, Land Use Area 7 is comprised of steep slopes. However, this area would remain as open space, resulting in no impacts to the proposed project. Therefore, the proposed project would be consistent with this policy.

**Policy 4.1** *The City shall not permit placement of critical facilities as identified in the Emergency Preparedness Element in areas prone to slope instability or liquefaction during an earthquake.*

Discussion: **Consistent.** A school has been proposed for Land Use Area 5. This area is not prone to slope instability. The potential for liquefaction would be reduced to less than significant levels through incorporation of mitigation measures GEO-1a.1 and GEO-1a.2, resulting in project consistency with this policy.

**Measure 26** *The City shall require the liquefaction potential to be evaluated by a Registered Soils Engineer for all critical facilities and major structures (reinforced concrete or steel frame, two-stories or more in height) located on the floor of the Lompoc Valley.*

Discussion: **Consistent.** The project is not located on the Lompoc Valley floor. Although a school has been proposed for Land Use Area 5, the potential for liquefaction would be reduced to less than significant levels through incorporation of mitigation measures GEO-1a.1 and GEO-1a.2, resulting in project consistency with this policy.

**Policy 4.2** *The City shall continue to identify all existing seismically vulnerable buildings and require that they be reinforced to minimize risk of personal injury during an earthquake.*

Discussion: **Consistent.** No existing structures would be retained as part of the project; therefore, the project would be consistent with this policy.

**Policy 4.3** *The City shall ensure that all new development is constructed in accordance with current seismic safety design standards.*

Discussion: **Consistent.** Mitigation measures GEO-1a.1 and GEO-1a.2 would ensure that grading and construction is completed in accordance with current seismic safety design standards; therefore, the project would be consistent with this policy.

**Policy 5.1** *The City may permit development on hillsides only where it can be demonstrated that geologic conditions are sound for construction purposes.*

Discussion: **Consistent.** The only steep slopes on the property (Land Use Area 7) would be retained as open space. The remaining gentle to moderately sloping topography would be graded in accordance with standard geotechnical engineering (mitigation measures GEO-1a.1, GEO-1b.1, and GEO-1b.2). Therefore, the project would be consistent with this policy.

**Measure 24** *The City shall require the following in the slope hazard areas as delineated on the Geologic and Soils Hazards map:*

*As a part of the environmental review process, a preliminary engineering geologic report shall be prepared under City direction which includes recommendations for remedial measures to ensure the stability of natural and manufactured slopes within the area affected by the development. The report shall be prepared by a Certified Engineering Geologist, licensed in the State of California;*

*Prior to the approval of construction permits, the applicant shall submit a final engineering geologic report of the graded site addressing the stability of natural and manufactured slopes based on conditions as actually encountered during grading. The report shall be prepared by a Certified Engineering Geologist, licensed in the State of California, and shall include an as-graded geologic map; and*

*The City shall require the following for areas with 20% slopes or greater:*

*Stability of slopes shall be addressed by a Registered Soils Engineer as a part of the routine soils investigations required by the City.*

Discussion: **Consistent.** The project site is not located within a geologic hazard area, as designated on the Geologic and Soils Hazards Map. However, any potential slope stability issues would be addressed through implementation of mitigation measures GEO-1b.1 and GEO-1b.2, such that the project would be consistent with this policy.

**Measure 28** *The City shall amend the Zoning Ordinance to require developers proposing structures on or adjacent to steep slopes to: 1) Develop and implement hillside drainage plans to reduce the risk of further movement by existing landslides; 2) Site new structures away from steep hillsides and the toes of existing landslide surfaces, reducing the potential for damage from landslide movement or burial; and 3) Perform site-specific slope stability investigations and analyses by a Registered Geotechnical Engineer.*

Discussion: **Consistent.** The northwest portion of the project site is comprised of steep slopes that would be geotechnically unfit for residential development. The Burton Ranch Specific Plan has designated this area (Land Use Area 7) as open space. Mitigation measure GEO-1a.1 would require intercept drains to be installed adjacent to the most northerly structures in Land Use Area 4 and 5 in order to

prevent upslope surface water from seeping into near-surface soils. In addition, mitigation measure GEO-2.1 would ensure that drainage is diverted away from this steep slope, to avoid potential slope instability, in accordance with a drainage plan and geotechnical investigation prepared for the project. Adherence to these mitigation measures would ensure that the project would be consistent with this policy.

#### *Land Use Element*

**Policy 6.2** *The City shall maintain an Open Space designation for all areas in which topographic, geologic, or soil conditions indicate a significant danger to future occupants.*

Discussion: **Consistent.** The northwest portion of the project is comprised of steep slopes which would be geotechnically unfit for residential development. The Burton Ranch Specific Plan has designated this area (Land Use Area 7) as open space; therefore, the project would be consistent with this policy.

### **Hazards & Hazardous Materials**

#### *Land Use Element*

**Policy 6.1** *The City shall maintain Open Space designations for areas that require special management due to hazardous, safety, or public health considerations.*

Discussion: **Consistent.** One area of potential subsurface contamination has been identified on the site. However, with implementation of mitigation measures HAZ-2.1 and HAZ-2.2, no hazardous areas that might pose a risk to public health would be present at Final Map approval or initiation of grading and construction. Therefore, the project would be consistent with the intent of the policy.

#### *Safety Element*

**Policy 6.4** *The City shall ensure that adequate protection of public health and safety is provided to new developments which are located in the vicinity of existing hazardous materials facilities.*

Discussion: **Consistent.** See response to Policy 6.1.

**Measure 35** *At every potentially contaminated location to be developed within the City, the project applicant shall have the site inspected by a Registered Environmental Assessor (REA) (i.e., a professional environmental scientist or engineer registered as an REA in California) for the presence of hazardous materials and wastes. The investigations shall take the form of environmental audits and shall include, at a minimum, site inspections for hazardous materials, examination of historic records, and reviews of public agency records. Reports detailing the results of the inspections shall be submitted to the City for review. The report preparer shall either certify that the site is free of hazards or recommend preparation of a site mitigation plan.*

*The City shall make certain that inspection reports are on file prior to project*



*approval and prior to any excavation or construction. Acceptance of the site inspection report shall allow the proposed development to proceed to the permitting stage. All activities under this measure shall be performed in conformance with the policies and procedures presented in the Santa Barbara County Hazardous Waste Management Plan.*

**Discussion:**

**Consistent.** A Phase I report has identified areas of the Burton Ranch Specific Plan that are most likely to have been locations of previous use and/or storage of hazardous materials. The report focused on Plan Unit 1, but addressed areas of concern in Plan Unit 4 (a former muffler shop and service station) and other land uses associated with hazardous materials in the Burton Ranch Specific Plan vicinity that could impact future project residential buildout. Other past activities within the Burton Ranch Specific Plan area in Plan Units 2, 3 and 5-8, including cattle grazing and two single-family residences, would not have the potential for substantial use and/or storage of hazardous materials. Implementation of mitigation measures HAZ-4.1 and HAZ-4.2 would feasibly address any hazardous material impacts that might pose a risk to public health during project grading and construction. Therefore, the project would be consistent with this policy.

**Measure 36**

*In the event that the site inspections of Measure 35 locate chemical contamination, underground storage tanks, abandoned drums, or other hazardous materials or wastes at a parcel, the inspection report preparer shall so notify the City and other agencies, as applicable, potentially including the state Department of Toxic Substances Control, the Regional Water Quality Control Board, and/or the County Health Services Department. The City would also notify the proper agencies, as required by law. Under the direction of the appropriate agencies, a site remediation plan shall be prepared by the project applicant, in accordance with applicable regulations.*

*The plan would (1) specify measures to be taken to protect workers and the public from exposure to potential site hazards and (2) certify that the proposed remediation measures would clean up the wastes, dispose the wastes, and protect public health in accordance with federal, State, and local requirements. Permitting or work in the areas of potential hazard shall not proceed until the site remediation plan is on file with the City.*

*If a parcel is found to be contaminated to a level that prohibits the proposed use, the potential for reduction of the hazard shall be evaluated. Site remediation is theoretically capable of removing hazards to levels sufficiently low to allow any future use on the site. In practice, both the technical feasibility of the remediation and its cost (financial feasibility) shall be evaluated in order to determine the overall feasibility of locating a specific use on a specific site. In some cases, it may be found that a site may be appropriate for any use; in other cases, a site may require restriction to industrial use or a use that involves complete paving and covering of the parcel.*

*In accordance with OSHA requirements, any activity performed at a contaminated site shall be preceded by preparation of a separate site health and safety plan (prepared by the project applicant and filed with the City) for the protection of workers and the public. All reports, plans, and other documentation shall be added to the administrative record. All activities under this mitigation*

*shall be done in conformance with policies and procedures presented in the Santa Barbara County Hazardous Waste Management Plan.*

Discussion: **Consistent.** A Phase I report has identified areas of the Burton Ranch Specific Plan that are most likely to have been locations of previous use and/or storage of hazardous materials. The report focused on Plan Unit 1, but addressed areas of concern in Plan Unit 4 (a former muffler shop and service station) and other land uses associated with hazardous materials in the Burton Ranch Specific Plan vicinity that could impact future project residential buildout. Other past activities within the Burton Ranch Specific Plan area in Plan Units 2, 3 and 5-8, including cattle grazing and two single-family residences, would not have the potential for substantial use and/or storage of hazardous materials. Implementation of mitigation measures HAZ-4.1 and HAZ-4.2 would feasibly address any hazardous material impacts that might pose a risk to public health during project grading and construction. Therefore, the project would be consistent with this policy.

## **Hydrology & Water Quality**

### *Safety Element*

**Policy 1.4** *The City shall avoid placement of critical facilities in hazardous areas as identified on the Flood Hazard Areas maps, including in the floodway or floodway fringe.*

Discussion: **Potentially consistent.** The proposed project includes a 12-acre school site. However, this critical facility is not located in an area identified on any Flood Hazard Areas maps. In addition, the project site is located approximately 4,500 feet north of the Santa Ynez River and 2,000 feet north of and several hundred feet above the associated 100-year flood plain. Therefore, the project would be consistent with this policy.

**Policy 2.1** *The City shall designate floodways, as shown on the Flood Hazard Areas map, for open space land uses. Developments which impair the ability of the floodway to convey floods shall be prohibited.*

Discussion: **Potentially consistent.** The project site is located approximately 4,500 feet north of the Santa Ynez River and 2,000 feet north of the associated 100-year flood plain (floodway fringe). Therefore, the project would be consistent with this policy.

**Policy 2.2** *The City may permit development within the floodway fringe provided that: building setback requirements from the Santa Ynez River and other streams are met and finished floor elevations are at least one foot above the 100-year flood elevations.*

Discussion: **Potentially consistent.** As discussed for Policy 2.1, the project is not located within the floodway fringe. Therefore, the project would be consistent with this policy.

**Policy 2.3** *The City shall ensure that all new developments will not compound the potential for flooding.*

Discussion: **Potentially consistent.** The project would result in increased runoff, potentially exacerbating existing flood-prone conditions along State Highway 1. However,

with implementation of mitigation measure HYDRO/WQ-1, the potential for flooding would be greatly reduced and the project would be consistent with this policy.

**Measure 10** *The City shall amend the Flood Plain Management Ordinance in order: 1) to maintain consistency with revisions of Federal and state requirements; 2) to establish a regulatory floodway; 3) to regulate grading and filling activities which diminish the carrying capacity of the floodway fringe; and 4) to establish building setbacks from the Santa Ynez River and other watercourses.*

Discussion: **Potentially consistent.** The project is not located in a 100-year flood zone of the Santa Ynez River or any other watercourse, as designated by the City of Lompoc and the Federal Emergency Management Agency; therefore, the project would be consistent with this measure.

## **Water Quantity**

### *Resource Management Element*

**Policy 4.1** *The City shall develop reliable and cost-effective supplemental water supplies to reduce dependence upon the Lompoc Groundwater Basin.*

Discussion: **Potentially consistent.** Upon annexation into the Mission Hills Community Services District, MHCS D would provide potable water services to the project area. Pursuant to an overlap annexation agreement dated May 2, 2000, MHCS D states that there is adequate infrastructure to provide water supplies to the Burton Ranch Specific Plan area. In addition, MHCS D has included the project site in their anticipated District growth estimates for Phase II buildout (MHCS D 2000). The proposed project would increase demands on the Lompoc Uplands Area, which is currently in a state of overdraft. However, the MHCS D wastewater reclamation process that provides a high return rate of treated water to the groundwater basin, in combination with a toilet retrofit program, represent a reliable and cost-effective means to minimize increased water demands. Therefore, the project would be potentially consistent with this policy.

**Policy 4.2** *The City shall utilize newly developed water supplies primarily to offset existing groundwater demand and secondarily to serve new development.*

Discussion: **Potentially consistent.** Per an existing contractual agreement, MHCS D will provide water services to the project site. The MHCS D maintains a high rate of return of reclaimed water to the groundwater basin. Therefore, the project would be potentially consistent with this policy.

**Policy 4.3** *The City shall encourage water conservation to the maximum extent possible in order to efficiently utilize existing water supplies and minimize the need for supplemental water sources.*

Discussion: **Potentially consistent.** Pursuant to an overlap annexation agreement, water provisions will be provided to the site by MHCS D. All water conservation measures shall be implemented in accordance with this agreement. Implementation of water conservation mitigation measures HYDRO/WQ-4.1 through HYDRO/WQ-4.3 would result in consistency with this policy.

**Policy 4.7** *The City shall participate with local, regional, state, and federal agencies in*

*monitoring groundwater supply, quality, and developing recharge facilities.*

Discussion: **Potentially consistent.** The County of Santa Barbara Water Agency and the U.S. Geological Survey have participated in evaluating the longevity and water quality of the Lompoc groundwater basin, resulting in potential consistency with this policy.

**Policy 5.1** *The City shall continue to require new development to offset new water demand with savings from existing water users, as long as savings are available.*

Discussion: **Potentially consistent.** Per an existing contractual agreement, MHCS D will be the water purveyor for the proposed project. MHCS D requires retrofit of high flow toilets with low flow toilets in three existing residences for every proposed new residence. All MHCS D water conservation measures shall be implemented in accordance with this agreement. Therefore, the project would be consistent with this policy.

**Policy 5.2** *The City shall work to ensure the long-term sustainability of the existing groundwater supply.*

Discussion: **Potentially consistent.** The existing water reclamation program, toilet retrofit program, and project mitigation measures HYDRO/WQ-4.1 through HYDRO/WQ-4.3 would result in consistency with this policy.

**Policy 5.3** *The City shall continue to promote water conservation throughout the Lompoc Valley.*

Discussion: **Potentially consistent.** Participation in the MHCS D toilet retrofit program, and project mitigation measures HYDRO/WQ-4.1 through HYDRO/WQ-4.3 would result in consistency with this policy.

#### *Land Use Element*

**Policy 5.7** *The City shall designate groundwater recharge areas as Open Space and protect those areas from incompatible uses.*

Discussion: **Potentially consistent.** Only one of three existing drainage basins (the vernal swale area in Plan Unit 1), which currently serve as on-site recharge areas, have been proposed as a detention basin and potential recharge area as part of the project. However, Mitigation HYDRO/WQ-2 would require that all three of these existing basins, plus one additional proposed basin, be used as unpaved stormwater detention basins. Each of these basins would serve as groundwater recharge areas that would be preserved as open space. With implementation of mitigation measure HYDRO/WQ-2, the project would be consistent with this policy.

## **Water Quality**

#### *Resource Management Element*

**Policy 6.2** *The City shall ensure that new development does not adversely affect water quality during and after construction.*

Discussion: **Potentially consistent.** Per an existing contractual agreement, MHCS D will be the water purveyor for the proposed project. Water will be pumped from local

aquifers in quantities that would not adversely affect the groundwater quality. In addition, mitigation measures HYDRO/WQ-5 through HYDRO/WQ-8 would minimize water quality impacts during and after construction such that the project would be consistent with this policy.

## **Land Use**

### *Land Use Element*

**Policy 2.2** *The City shall protect residential neighborhoods from encroachment by adverse or incompatible non-residential uses and impacts associated with those non-residential uses.*

Discussion: **Potentially consistent.** The proposed development of the project site with one- and two-story residences, parklands, and a school, would not introduce any adverse or incompatible non-residential land uses. In addition, the rustic design scheme of the project would be compatible with the existing residential development to the southeast of the proposed project site at the junction of Purisima Road and State Highway 1, within the La Purisima Highlands project currently under construction. Therefore, the proposed project would be consistent with this Land Use Element policy.

**Policy 2.3:** *The City shall prohibit new land uses within or adjacent to residential neighborhoods when such land uses would adversely affect the character of the neighborhood.*

Discussion: **Potentially consistent.** The proposed land use designations and zoning would be consistent with the existing land use designations as well as those of surrounding neighborhoods and built subdivisions such as La Purisima Highlands to the southeast. Project design schemes incorporate measures such as a passive park and open space, which would provide needed recreational opportunities. The proposed project would be consistent with this Land Use Element policy.

**Policy 2.5:** *The City shall encourage creative site designs in residential developments which address natural constraints and protection of aesthetic qualities.*

Discussion: **Potentially consistent.** Development standards have been proposed in order to ensure the conservation of scenic resources and to maintain the integrity of natural resources. Areas that are highly constrained by topographic and environmental features have been designated as open space and/or incorporated into the passive park. The Specific Plan would establish landscaped open space buffers along project boundaries in order to maintain and enhance views of the Burton Ranch from public areas. Therefore, the proposed project would be consistent with this Land Use Element policy.

**Policy 4.2:** *The City shall allow development only in areas where adequate public facilities and/or services will be available at the time of development.*

Discussion: **Potentially consistent.** Prior to site development, the site would be annexed into the Mission Hills Community Services District (MHCS). MHCS has determined that the existing capacity of domestic water supplies and wastewater treatment facilities is adequate to support the proposed development. Therefore, the proposed project would be consistent with this Land Use Element policy.



**Policy 4.4** *The City shall ensure that the effect of airport activities on sensitive land uses is minimized.*

Discussion: **Potentially consistent.** The project site is located in the Lompoc Airport Influence Area (AIA) within the outer limit of the Zone I Airport Height Restriction Area of the Santa Barbara County Airport Land Use Plan (ALUP). Airport activities would not affect sensitive land uses within the Burton Ranch Specific Plan area since schools are a permitted use within Zone I.

**Policy 4.5** *The City shall ensure that land uses in the vicinity of the Lompoc Airport are compatible with current and planned airport operations.*

Discussion: **Potentially consistent.** Plan Unit 1 is situated within the eastern aviation departure zone of the Lompoc Airport traffic pattern area. The proposed development would be in conformance with all restrictions delineated in the Zone I Lompoc Airport Height Restriction Area of the Santa Barbara County ALUP. Since the proposed project follows the guidelines and restrictions defined in the ALUP, development of the Burton Ranch would be compatible with current and planned airport operations.

**Policy 5.1:** *The City shall maintain Open Space designations for areas used for the preservation of scenic beauty, natural resources, or outdoor recreation; or the managed production of resources; or the protection of public health and safety.*

Discussion: **Potentially consistent.** The proposed project incorporates 11.3 acres of open space into its design scheme. Open space acreage has been designated to preserve natural resources (i.e. oak trees and Burton Mesa Chaparral) and protect future residents from potential safety hazards (i.e. development on steep terrain). Therefore, the proposed project would be consistent with this Land Use Element policy.

**Policy 5.8:** *Development proposals in the vicinity of natural objects that have unique aesthetic significance shall not be permitted to block, alter, or degrade the existing visual quality without the provision of suitable visual enhancement. This may include open space, eucalyptus groves, or vegetation that serves as a view corridor or has important visual attributes. Development proposals shall be sited to ensure that these features are retained or replaced to the extent feasible, resulting in minimal view impairment.*

Discussion: **Potentially consistent.** Development standards have been proposed in order to ensure the conservation of scenic resources, and to maintain the integrity of natural resources. Areas that are highly constrained by topographic and environmental features have been designated as open space and/or incorporated into the passive park. The Specific Plan would establish landscaped open space buffers along project boundaries in order to maintain and enhance views of the Burton Ranch from public areas. Therefore, the proposed project would be consistent with this Land Use Element policy.

**Policy 6.2:** *The City shall maintain an Open Space designation for all areas in which topographic, geologic, or soil conditions indicate a significant danger to future occupants.*

Discussion: **Potentially consistent.** Open space acreage has been designated to preserve natural resources (i.e. oak trees and Burton Mesa Chaparral) and protect future residents from potential safety hazards (i.e. development on steep terrain).

Therefore, the proposed project would be consistent with this Land Use Element policy.

### *Housing Element*

**Policy 1.11** *With the exception of areas within the Old Town Redevelopment Project, Amendment No. 1 area, in all residential developments of ten units or more, at least 10% of all units shall be affordable to low-, very low- and median income households. If it is determined to be infeasible to provide 10% of the units within the very low to median income category on-site, payment of an in-lieu fee shall be acceptable, provided that the fee shall be applied to housing within the City.*

**Discussion:** **Consistent.** The proposed development would be conditioned to meet the requirements of this policy, ensuring that 10% of all on-site dwelling units would be designated as “affordable.” Therefore, the proposed project would be consistent with this Housing Element policy.

### **Noise**

#### *Noise Element*

**Policy 1.1** *The City shall require each land use to maintain noise levels at their property line in compliance with City standards.*

**Discussion:** **Consistent.** Implementation of measures NOISE-1a through 1d would minimize short-term construction noise impacts affecting surrounding sensitive noise receptors to less than significant. Long-term increases associated with project traffic would have a negligible affect on surrounding sensitive noise receptors. Therefore, the proposed project would be consistent with this policy.

**Policy 2.1** *The City shall use noise standards presented in table entitled “Interior and Exterior Noise Standards” in determining land use designations and maximum noise levels allowable for new developments.*

**Discussion:** **Consistent.** The proposed residential land uses are consistent with existing on-site and surrounding land use designations. Attenuation of future noise levels adjacent to Harris Grade Road and State Highway 1 to City of Lompoc Noise Element standards is feasible with implementation of measures NOISE-2a through –2c. Therefore, the proposed project would be consistent with this policy.

**Policy 2.2** *The City shall require acoustical studies for new development projects in areas where noise levels are anticipated by the City to be within five CNEL of the noise standard or greater than the noise standard for the proposed land use(s) under existing or future conditions. Noise attenuation features recommended by acoustical studies shall be incorporated into the project.*

**Discussion:** **Consistent.** Implementation of measures NOISE-2.2a through –2.2c would require the preparation of acoustical studies by a City-qualified acoustical engineer to determine the appropriate dimensions of perimeter sound walls/berms and architectural treatments and building materials to achieve City and State interior noise standards. Therefore, the proposed project would be consistent with

this policy.

**Policy 2.3** *The City shall minimize noise exposure in the vicinity of Lompoc Airport by maintaining consistency with the Santa Barbara County Airport Land Use Plan, as amended.*

**Discussion:** **Consistent.** The proposed project is located approximately 0.9 miles from the Lompoc Airport. The project site is located within the ALUC planning boundary, but entirely outside the 60dB CNEL contour associated with the Lompoc Airport. The ALUC noise policy requires compliance with the California Noise Insulation Standards, Title 25, Chapter 1, Sub-Chapter 1, and Article 4 of the California Administrative Code. The proposed project includes residential land uses, which would be subject to an acoustical analysis showing that all residential structures have been designed to limit interior noise levels to 45 CNEL. Therefore, the proposed project would be consistent with this policy.

## **Public Services**

### **Fire Protection**

#### *Land Use Element*

**Policy 4.2** *The City shall allow development only in areas where adequate public facilities and/or services will be available at the time of development.*

**Discussion:** **Potentially consistent.** The City Fire Department has planned to hire additional fire personnel (six in the next 2 years), which would most likely satisfy the 5-minute response time threshold. A financing program acceptable to the City's Finance Director established by the Burton Ranch Specific Plan (Mitigation Measure PS-2.1.1) would provide funding to support required Fire Department facilities and staff in response to the proposed project's increased demand on these services. The proposed project would be potentially consistent with this Public Services policy.

#### *Public Services Element*

**Policy 4.1:** *The Fire Department shall strive to provide on scene response within five minutes to all emergency incidents within the city.*

**Discussion:** **Potentially consistent.** Upon annexation to the City of Lompoc, additional fire personnel and equipment would be required to maintain 5-minute average response times for emergency calls within the project area. The project area is currently within the 5-minute response area; however, there currently is not sufficient staff to support a 5-minute response. The City Fire Department has planned to hire additional fire personnel (6 in the next 2 years), which would most likely satisfy the 5-minute response time threshold (personal communication, Battalion Chief Stan Hart 2003). A financing program acceptable to the City's Finance Director established by the Burton Ranch Specific Plan applicants (Mitigation Measure PS-2.1.1) would provide funding to support required facilities

and staff in response to the proposed project's increased demand on these services. The proposed project would be potentially consistent with this Public Services policy.

**Policy 5.1:** *The Fire Department shall strive to provide on scene response within five minutes at 90 percent of all structural fires within the City.*

Discussion: **Potentially consistent.** The financing program acceptable to the City's Finance Director established by the Burton Ranch Specific Plan applicants (Mitigation Measure PS-2.1.1) would provide funding to support required facilities and staff in response to the proposed project's increased demand on these services. The proposed project would be potentially consistent with this Public Services policy.

**Policy 5.2:** *The City shall continue to participate in an automatic aid agreement with Santa Barbara County and in mutual aid agreements with Vandenberg Air Force Base and the State of California.*

Discussion: **Potentially consistent.** Annexation of the project site to the City of Lompoc would transfer the primary fire response responsibility from the County of Santa Barbara to the City of Lompoc. However, the City's existing participation in automatic/mutual aid agreements with the County Fire Department, VAFB Fire Department, and the State of California would not be affected by this action.

**Policy 5.3:** *The Fire Department shall review all development projects for fire safety requirements.*

Discussion: **Potentially consistent.** This EIR incorporates preliminary project review and comment of the City of Lompoc Fire Department staff. The Fire Department has determined that the Burton Ranch Specific Plan would meet existing industry and Department standards by incorporating proposed mitigation measures in the project design.

## **Police Protection**

### *Public Services Element*

**Policy 7.1** *The Police Department shall seek to maintain three minute average response time for all emergency service calls within City limits.*

Discussion: **Potentially consistent.** Upon annexation to the City of Lompoc, additional police personnel and equipment would be required to maintain 3-minute average response times for emergency calls within the project area. Policing areas would need to be extended to include the project site to provide adequate police coverage. Implementation of Mitigation Measure PS-4, a financing program acceptable to City's Finance Director to create and ensure an adequate long-term revenue stream acceptable to the City's Finance Director, would provide for needed increased Police Department staff such that the proposed project would be potentially consistent with this policy.

**Policy 8.2** *The Police Department shall review development projects for prevention of crime, vandalism, and traffic problems.*

Discussion: **Potentially consistent.** Prior to site development, the applicant shall provide development plans to the City of Lompoc Police Department for review. The proposed project would be consistent with this policy.

## Schools

### *Land Use Element*

**Policy 4.3:** *The City, in cooperation with the Lompoc Unified School District, shall continue to identify adequate school sites on the Land Use Element map.*

Discussion: **Consistent.** The offer to negotiate the proposed 12-acre school site in Land Use Area 5 would make the project consistent with this policy.

### *Public Services Element*

**Policy 10.2:** *The City shall encourage Lompoc Unified School District and Allan Hancock Joint Community College District to maintain consistency with the City's architectural, sidewalk, landscaping, and site design requirements in the design, remodeling, or construction of new facilities.*

Discussion: **Potentially consistent.** Prior to development of the educational facility located in the northeast corner of the project site, development plans shall be submitted to LUSD for review. The proposed project would be consistent with this policy.

**Policy 10.3:** *The City shall assist Lompoc Unified School District to ensure mitigation of impacts upon school facilities from new development within the City.*

Discussion: **Consistent.** Prior to site development, the applicant shall provide payment of statutory school fees to mitigate proposed student enrollment due to project implementation. The proposed project would be consistent with this policy.

**Policy 11.2:** *When new residential developments have a significant impact on school facilities, the City shall take steps to assure that developers coordinate with the Lompoc Unified School District to provide timely and proper submittal of required development impact fees.*

Discussion: **Consistent.** The applicant shall ensure the timely and proper submittal of required development impact fees to the LUSD. The proposed project would be consistent with this policy.

## Library Services

### *Public Services Element*

**Policy 6.3:** *The City shall cooperate with the Library Board of Trustees to ensure that improvements to the City of Lompoc library system necessitated by new development within the City are proportionately financed by the project sponsor.*

Discussion: **Potentially consistent.** Upon annexation to the City of Lompoc, additional library space would be required to accommodate the increase in residents generated by development of the Burton Ranch Specific Plan area. Currently, the City of Lompoc does not require new residential developments to pay development impact fees to the Lompoc Library. Implementation of mitigation measures PS-6.1 and PS-6.2 would ensure that the proposed project would be consistent with this policy.

## Recreation

### *Parks and Recreation Element*

**Policy 1.1:** *The City shall provide park facilities which respond to the needs of a diverse population using the following standards:  
Neighborhood Parks- 2 acres per 1,000 persons;  
Community Parks- 5 acres per 1,000 persons; and  
Regional Parks- 5 acres per 1,000 persons.*

Discussion: **Potentially consistent.** The proposed project would provide recreational amenities that would be publicly accessible. A total of approximately 3 acres would be dedicated to neighborhood park facilities, but no community park or regional park acreage would be provided. Project buildout would add up to 1,395 persons to the area, resulting in a corresponding demand for a total of 16.7 acres of parkland. Implementation of measure REC-1.1 would ensure project consistency with this policy by providing adequate neighborhood, community, and regional park development.

**Policy 1.4:** *Privately owned recreation activities and open space provided in developments shall be usable for organized recreational purposes.*

Discussion: **Potentially consistent.** The proposed project would provide passive recreational amenities that would not be publicly accessible for organized recreational activities. However, the size of the approximately 2- to 3-acre passive park and proposed preservation of oak trees does not make it amenable to organized public recreational opportunities such as ball fields that require large contiguous expanses of flat playing areas. As the proposed recreational area emphasizes preservation of important biological resources, the inability to also provide organized recreational opportunities is offset. Therefore, the proposed project is potentially consistent with this policy.

**Policy 1.5:** *The City shall encourage establishment of off-road bicycling/hiking/equestrian trails extending to Santa Ynez River Park, La Purisima Mission, State Burton Mesa Chaparral Reserve, Allan Hancock College site, Ocean Beach Park and along the Santa Ynez River.*

Discussion: **Potentially consistent.** The project proposes public access roads with a bicycle lane that would direct traffic from one end of the Burton Ranch to another and make connections to State Highway 1 and the entrance to Allan Hancock Community College. The proposed project would be potentially consistent with this policy.

**Policy 3.1:** *The City shall encourage developments adjacent to parks or open space to provide direct access to, and common open space contiguous with, such areas.*

Discussion: **Potentially consistent.** The project proposes public access roads that would direct traffic from one end of the Burton Ranch to another and make connections to Harris Grade Road and State Highway 1. As a result, open space located to the northwest and southeast of the Burton Ranch would be accessible by the public. The proposed project is potentially consistent with this policy.

**Policy 4.1:** *The City shall require all residential, commercial, and industrial developments to contribute toward acquisition and/or improvement of parks and recreation*



*facilities.*

Discussion: **Potentially consistent.** The project would pay Quimby fees equivalent to the number of approved residential units to be used by the Parks and Recreation Department for development of park facilities within the project vicinity. Therefore, the proposed project is potentially consistent with this policy.

**Measure 17:** *The City shall amend the Development Impact Fee ordinance (AB 1600) to include provisions for funding regional parks and special recreation facilities (e.g. municipal pool, civic auditorium); and for contribution of funds by developers as allowed by law [Policy 4.1].*

Discussion: **Potentially consistent.** The proposed project incorporates development fees that would offset increased demands from the population increase associated with the proposed project. The project would pay Quimby fees equivalent to the number of approved residential units to be used by the Parks and Recreation Department for development of park facilities within the project vicinity. Therefore, the proposed project is potentially consistent with this policy.

## **Transportation & Circulation**

### *Circulation Element*

**Policy 1.2** *The City shall maintain intersection traffic levels of service (LOS) at LOS C or better throughout the City, with the exception of intersections monitored in accordance with the Congestion Management Program (CMP) administered by the Santa Barbara County Association of Governments (SBCAG). CMP intersections shall maintain a LOS in accordance with the most recent CMP standards, when it can be demonstrated that all feasible mitigation measures have been applied to the project and LOS C, with said mitigation, cannot be achieved.*

Discussion: **Consistent.** Although the proposed project traffic would reduce the LOS of Harris Grade Road north of Purisima Road to LOS E, implementation of measure TRANS-1.2b requiring a 14-foot median lane at all project site access points, and other improvements required by related projects including the Bluffs at Mesa Oaks and the Lane's End development (e.g., providing full access connections to existing and proposed intersections, widening north of the existing church driveway and possible addition of acceleration and deceleration lanes), would increase the capacity of Harris Grade Road and ensure acceptable levels of service on a daily basis. The daily traffic volumes associated with the project would utilize 12 percent of the existing design capacity of H Street north of Central Avenue where the daily volumes upon City-wide buildout (without the project) are projected to exceed current design capacity by 43 percent. Implementation of measures TRANS-1.2d and -1.2e would not address project-related degradation of the H Street road segment already functioning at less than LOS C. Until funding sources are found to widen H Street between Central Avenue and Purisima Road (including the Santa Ynez River Bridge), this impact will remain significant and unavoidable. The "H" Street/Central Avenue intersection is a CMP-administered intersection with a minimum acceptable intersection level of service (LOS) D. Construction of an additional northbound through lane at H Street/Central Avenue

would reduce peak hour impacts on this intersection to adverse, but less than significant; however, insufficient right-of-way exists to complete this improvement. Implementation of a northbound right-turn lane would result in LOS D operations. As the intersection LOS would be maintained in accordance with the most recent CMP standards and all feasible mitigation measures have been applied to minimize the project's impacts but a LOS C cannot be achieved, the project would be consistent with this policy.

**Measure 15** *The City shall review, and update as necessary, the Standard Requirements for the Design and Construction of Subdivisions and Special Developments regarding improvements in the public right-of-way (e.g. roads, bikeways, and sidewalks) [Policies 1.1, 1.2, 1.4, 2.4, and 4.3].*

Discussion: **Consistent.** Implementation of mitigation measure TRANS-3.1 would ensure that all internal project site internal street design, including roundabouts and sidewalk widths, would be designed according to standards deemed acceptable by the City of Lompoc, ensuring project consistency with this measure.

**Policy 1.3** *The City shall assure that all improvements to the circulation system necessitated by new development are proportionately financed by the project sponsor.*

Discussion: **Consistent.** Implementation of measure TRANS-1.2e would require the applicant to contribute transportation fees for funding off-site improvements according to a "fair share" basis related to the project's percentage of cumulative traffic that would impact these areas. Implementation of measure TRANS-1.2f would also require that the project contribute to a traffic signal mitigation fee, as specified by the City of Lompoc, for the cost of installing traffic signals of region-wide benefit. These measures would ensure project consistency with this policy.

**Measure 1** *The City shall control access along expressways and arterials by controlling the number of intersections and driveways [Policies 1.1, 1.3 and 1.4].*

Discussion: **Consistent.** The proposed project would minimize the number of access points on State Highway 1 and Harris Grade Road, designing these to align with existing access points on the opposite side of each roadway (i.e., the State Highway 1/Street "A" intersection opposite Allan Hancock College Hancock Drive entrance; the Harris Grade Road/Street "B" intersection opposite the St. Mary's Church access; and the Harris Grade Road/Street "C" intersection opposite the future Onstott Road). This design would ensure project consistency with this measure.

**Measure 18** *The City shall ensure that safe and convenient pedestrian and bicycle access is provided to the Allan Hancock College site [Policies 1.1, 1.2, 1.3, 1.4, 3.1, and 3.2].*

Discussion: **Consistent.** The proposed project includes an access point at the State Highway 1/Street "A" intersection directly opposite the Allan Hancock College Hancock Drive entrance. Implementation of mitigation measure TRANS-3.2a, requiring parking and bike lanes on both sides of the Street "D" in the event that a school is built in Land Use Area 5; and TRANS-3.3 requiring pedestrian and bicycle traffic improvements along the entire west side of Harris Grade Road, improvements at the Harris Grade Road/State Highway 1 intersection to provide for safe pedestrian crossing from the southeast intersection corner to the northwest intersection corner, and a Class II bike lane along the western side of Harris Grade Road,

would ensure consistency with this policy.

**Policy 1.4** *The City shall only allow development in areas where adequate circulation facilities and/or services will be available at the time of development.*

Discussion: **Potentially Consistent.** Until funding sources are collected to widen “H” Street between Central Avenue and Purisima Road (including the Santa Ynez River Bridge) this impact would remain significant and unavoidable. It is estimated that sufficient fees would be collected in approximately 20 years. Implementation of a northbound right-turn lane would result in LOS D operations but would completely address the project’s contribution to future intersection operations. Therefore, the project would be consistent with this policy in the long term.

**Measure 2** *The City shall work with Caltrans to relieve congestion on North H Street through traffic control measures [Policies 1.1, 1.2, 1.3, and 1.4].*

Discussion: **Consistent.** Implementation of measures TRANS-1.2d and -1.2e would address project-related degradation of H Street intersections, and ensure project consistency with this measure.

**Policy 1.6** *The City shall continue to require private roadways to be constructed and maintained to City standards.*

Discussion: **Consistent.** Implementation of mitigation measure TRANS-3.1 would ensure that all internal project site internal street design, including roundabouts and sidewalk widths, would be designed according to standards deemed acceptable by the City of Lompoc, ensuring project consistency with this measure.

**Policy 1.8** *Provide an adequate supply of private and public off-street parking to meet the needs of residents and visitors to the City.*

Discussion: **Consistent.** Internal project residential streets would be required to be designed according to standards deemed acceptable by the City. Private off-street parking would be provided consistent with City Parking Ordinance requirements for multiple-family and single-family residences. The project would therefore be consistent with this policy.

**Policy 2.4** *The City shall ensure that approaches to intersection crosswalks and all adjacent street corners are illuminated by requiring all new commercial, entertainment, school, and other pedestrian generating uses to provide lighting for pedestrians, as part of the development review process.*

Discussion: **Consistent.** The project proposes to construct street lighting fixtures on all collector roads and residential streets. The project would therefore be consistent with this policy.

**Measure 19** *The City shall examine and, if necessary, amend the Development Impact Fee Resolutions to ensure that transportation improvement necessitated by projects generating additional peak-hour trips are provided and improvements to bicycle lanes are funded. [Policies 2.4, 3.2, and 3.4].*

Discussion: **Consistent.** The project would pay the Development Impact Fees established at the time of Final Map approval. The project would therefore be consistent with this measure.

**Policy 3.1** *The City shall provide and maintain a safe and convenient circulation system which encourages walking.*

Discussion: **Consistent.** The proposed project proposes a meandering pedestrian path on one side of all residential streets. The project would therefore be consistent with this

policy.

**Measure 10** *The City shall develop a pedestrian and bicycle trail system which connects major park and wildlife areas within Lompoc Valley [Policies 3.1 and 3.2].*

Discussion: **Consistent.** Streets “A”, “B” and “C” would be designed with 4-foot wide, Class 2 bike paths on both sides of the roadway, and Street “D” would have a 5-foot width with parking. The bike paths would provide an alternative to bicyclists using State Highway 1 and Harris Grade Road to travel from the Mission Hills/Mesa Oaks area to Ken Adam Regional Park. The proposed project would provide access to the neighboring Ken Adam Regional Park via Street A. The project would therefore be consistent with this measure.

**Policy 3.2** *The City shall provide and maintain a safe and convenient circulation system which encourages bicycle travel.*

Discussion: **Consistent.** The Burton Ranch Specific Plan shall meet street design standards as required by the City of Lompoc Engineer. The bike paths would provide an alternative to bicyclists using State Highway 1 and Harris Grade Road to travel from the Mission Hills/Mesa Oaks area to Ken Adam Regional Park. The project would therefore be consistent with this policy.

**Measure 8** *The City shall amend the Zoning Ordinance to require the provision of adequate bicycle facilities in development projects [Policies 1.1, 1.2, 1.3, 3.2, and 3.4].*

Discussion: **Consistent.** Streets “A”, “B” and “C” would be designed with 4-foot wide, Class 2 bike paths on both sides of the roadway, and Street “D” would have a 5-foot width with parking. Implementation of mitigation measure TRANS-3.3 requiring bicycle lane improvements along Harris Grade Road would also ensure project consistency with this measure.

**Policy 3.3** *The City shall encourage ridesharing and transit use.*

Discussion: **Consistent.** The Lompoc Transit District has two buses providing service outside the City to the unincorporated areas of Vandenberg Village, Mission Hills, and Mesa Oaks. The project site would therefore be served by local transit. Implementation of mitigation measure TRANS-1.2g requiring that the applicant provide bus stops along project frontages as required by the Public Works Department during the development review process for each development phase would ensure consistency with this policy.

**Policy 3.4** *The City shall provide safe and convenient transit service which meets the needs of the transportation-disadvantaged including young, elderly, disabled, and low-income individuals.*

Discussion: **Consistent.** Lompoc Transit has two buses providing service outside the City to the unincorporated areas of Vandenberg Village, Mission Hills, and Mesa Oaks. The project site would therefore be served by local transit. Implementation of mitigation measure TRANS-1.2g requiring that the applicant provide bus stops along project frontages as required by the Public Works Department during the development review process for each development phase would ensure consistency with this policy.

**Measure 12** *The City shall amend the Zoning Ordinance to require project sponsors to provide bus shelters in high-usage locations, near multi-family developments, and within commercial areas [Policies 1.1, 1.2, 1.3, 3.4, and 3.5].*

Discussion: **Consistent.** The proposed project is consistent with the provisions of the Zoning

Ordinance. If the Ordinance is modified to require a bus shelter, one would be appropriately located in the vicinity of Street “B” and Harris Grade Road, adjacent to the Land Use Area 1 attached multi-family development. Implementation of mitigation measure TRANS-1.2g requiring that the applicant provide bus stops along project frontages as required by the Public Works Department during the development review process for each development phase would ensure consistency with this policy.

**Measure 23** *The City shall ensure that crosswalks are provided on major access routes to all schools.*

Discussion: **Consistent.** The proposed project proposes a meandering pedestrian path on one side of each residential street to provide for walking. The paths would provide access to Land Use Area 5 and the potential elementary/middle school (K-8) school site. Additionally, implementation of mitigation measure TRANS-3.3, requiring pedestrian and bicycle traffic improvements along the entire west side of Harris Grade Road project site frontage and improvements at the Harris Grade Road/State Highway 1 intersection to provide for safe pedestrian crossing from the southeast intersection corner to the northwest intersection corner, would ensure project consistency with this measure.

**Measure 24** *The City shall require, as part of the development review process, a system of sidewalks or pathways for all new development to provide a safe environment for pedestrians.*

Discussion: **Consistent.** The proposed project proposes a meandering pedestrian path on one side of each residential street to provide for walking. The paths would provide access to Land Use Area 5 and the potential elementary/middle school (K-8) site. Additionally, implementation of mitigation measure TRANS-3.3, requiring pedestrian and bicycle traffic improvements along the entire west side of Harris Grade Road project site frontage, and improvements at the Harris Grade Road/State Highway 1 intersection to provide for safe pedestrian crossing from the southeast intersection corner to the northwest intersection corner, would ensure project consistency with this measure.

**Measure 26** *The City shall adopt and utilize traffic study guidelines to evaluate potential traffic impacts associated with proposed new development prior to project approval, and assure implementation of appropriate mitigation measures prior to or in conjunction with project development.*

Discussion: **Consistent.** The project EIR was completed consistent with the adopted City traffic study guidelines, and proposed mitigation measures are consistent with City practices. The project would therefore be consistent with this measure.

**Measure 30** *The City shall review the design of all new residential neighborhoods to ensure that through traffic is minimized.*

Discussion: **Consistent.** The project EIR and all circulation plans, including implementation of all mitigation measures to minimize adverse traffic impacts identified in this EIR, shall be reviewed and approved by the City Community Development Department and Public Works Department, Roads Division. The traffic circles proposed on-site were designed to discourage through traffic that might otherwise pass through the project site to move between Harris Grade Road and State Highway 1 via “C” Street, “B” Street and “A” Street (see Figure 2-3 of the Burton

Ranch Specific Plan EIR). Onstott Road, located opposite proposed “C” Street on Harris Grade Road, may be opened at any time if found to be necessary in accordance with all previous County Board of Supervisor’s actions on this issue. Currently, this road is only authorized for emergency access as part of the Bluffs at Mesa Oaks development, as approved by the Santa Barbara County Board of Supervisors. Therefore, proposed “A” and “C” Streets within the project site would not represent a thoroughfare from State Highway 1 extending through Onstott Road. The project would therefore be consistent with this measure.

**Utilities**

**Domestic Water Supply & Wastewater Facilities**

*Land Use Element*

**Policy 4.2** *The City shall allow development only in areas where adequate public facilities and/or services will be available at the time of development.*

Discussion: **Potentially consistent.** Prior to site development, the site would be annexed into the Mission Hills Community Services District (MHCS D). Prior to annexation into the MHCS D’s service boundaries, the applicant would be required to make a payment to offset the costs of providing domestic water and wastewater connections, consistent with MHCS D’s Capital Improvement Program. The applicant would enter into a Development Agreement with the MHCS D that addresses this funding. All proposed work would be subject to MHCS D review and approval and would conform to the standards of the MHCS D. Therefore, the proposed project would be consistent with this Land Use Element policy.

*Public Services Element*

**Policy 12.2:** *The City shall assure that sufficient capacity is available in the Lompoc Regional Wastewater Treatment Plant prior to approval of new development projects.*

Discussion: **Potentially consistent.** Since the project would be annexed into the Mission Hills Community Services District (MHCS D) service area, wastewater would be treated at the La Purisima Treatment Plant. Pursuant to an overlap annexation agreement dated May 2, 2000, MHCS D states that there is adequate infrastructure to provide wastewater treatment services to the Burton Ranch Specific Plan area. In addition, MHCS D has included the project site in their anticipated District growth estimates for Phase II buildout (MHCS D 2000). The La Purisima Treatment Plant is currently operating at approximately 39 percent of capacity. The remaining sewer capacity is sufficient to ensure adequate wastewater treatment to the proposed development. The proposed project would be potentially consistent with this policy.

**Measure 19:** *The Utility Department shall update the Wastewater Management Plan [Policy 12.2].*



Discussion: **Potentially consistent.** Upon annexation into the Mission Hills Community Services District service area, MHCS D would be required to update its Sewer and Water Master Plan. Per an existing contractual agreement, MHCS D has sufficient capacity to provide wastewater services to the Burton Ranch Specific Plan area. In addition, MHCS D’s Sewer and Water Master Plan accounts for development in the project area under Phase II buildout of the District adopted sphere of influence. The proposed project would be potentially consistent with this policy measure.

**Policy 18.2:** *The City shall assure that sufficient capacity and quality is available in the Lompoc Water Treatment Plant and system prior to approval of new development projects.*

Discussion: **Potentially consistent.** Per an existing contractual agreement, water services would be provided to the project area by the MHCS D. The construction of an on-site well and additional storage tank at the MHCS D tank site would ensure adequate water quality and reliable water supplies for the project. Prior to annexation into the MHCS D’s service boundaries, the applicant would be required to make a payment to offset the costs of providing domestic water connections and infrastructure, consistent with MHCS D’s Capital Improvement Program. The applicant would enter into a Development Agreement with the MHCS D that addresses this funding. All proposed work would be subject to MHCS D review and approval and would conform to the standards of the MHCS D. The proposed project would be potentially consistent with this policy.

**Measure 31:** *The Utility Department shall update the Water System Management Plan [Policy 18.2].*

Discussion: **Potentially consistent.** The MHCS D Sewer and Water Master Plan has accounted for development in the Burton Ranch Specific Plan area under estimated buildout for Phase II. Upon annexation into the Mission Hills Community Services District, MHCS D would be required to update its Sewer and Water Master Plan accordingly. The proposed project would be potentially consistent with this policy measure.

**Measure 33:** *The City shall seek to establish emergency inter-tie agreements with Mission Hills CSD, Vandenberg Village CSD, and Vandenberg AFB in case of emergency water shortages. Such agreements would be invoked to satisfy short-term emergency water needs of either party [Policy 18.2].*

Discussion: **Potentially consistent.** Per an existing contractual agreement, MHCS D would provide water service to the project site. Recent water system improvements conducted by MHCS D include the construction of an inter-tie between the City of Lompoc and MHCS D. Therefore, the proposed project would be potentially consistent with this policy measure.

**Policy 18.3:** *The City shall assure that all improvements to the water supply system necessitated by the approval of new projects are proportionately financed by the project sponsor.*

Discussion: **Potentially consistent.** Pursuant to a Development and Annexation agreement, water provisions will be provided to the site by MHCS D. All funding and mitigation payments necessitated by development of the Burton Ranch Specific Plan area will be in accordance with this agreement. Prior to site development, the applicant shall provide adequate funding for an additional water storage vessel

to be located at the MHCSD tank site. Therefore, the proposed project would be potentially consistent with this policy.

## **Solid Waste Disposal**

### *Public Services Element*

**Policy 14.2:** *The City shall assure that sufficient capacity is available in the landfill prior to approval of new development projects.*

Discussion: **Potentially consistent.** The City of Lompoc Class III landfill has a design capacity of 4.56 million cubic yards. Currently, the City landfill has an existing capacity of approximately 2.58 million cubic yards and a life expectancy of about 45 years. Therefore, sufficient capacity remains in the landfill to support the proposed project. At this time, the proposed project would be potentially consistent with this policy.

**Policy 14.3:** *The City shall assure that all improvements to the solid waste collection and disposal system necessitated by new development are proportionately financed by the project sponsor.*

Discussion: **Potentially consistent.** Prior to site development, the applicant shall provide adequate funding for required improvements to the solid waste collection system due to project implementation. The proposed project would be consistent with this policy.

**Policy 15.1:** *The City shall continue to encourage efforts to reduce, recycle and compost as many materials as possible.*

Discussion: **Potentially consistent.** The applicant shall implement development standards that would encourage source reduction efforts, such as recycling and composting. As a result, the proposed project would be consistent with this policy.

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## ***XI. MITIGATION MEASURES***

***The following mitigation measures are from the Revised Final Environmental Impact Report 02-01 prepared for Burton Ranch and are incorporated into the Specific Plan.***

Notes:

- 1) All mitigation measures require that the project be constructed according to the approved plans.
- 2) Monitoring for each mitigation measure includes review of pertinent plans by pertinent departments to ensure that the plans comply with the requirements of each mitigation measure. Any proposed additional monitoring is listed in the Requirements & Monitoring column.
- 3) Standard Timing for each mitigation is as follows:

All required preliminary plans and reports (Including, but not limited to plans and reports regarding Architecture, Biology, Construction, Cultural Resources, Drainage, Fees, Fire, Hazards, Geology, Grading, Habitat, Landscape, Lighting, Noise, Public Improvements, Traffic, Water and Wildlife) shall be submitted with Tentative Maps and shall be reviewed by the City of Lompoc Community Development and any other pertinent departments and jurisdictions (including, but not limited to Caltrans, City Attorney, County of Santa Barbara, Mission Hills Community Services District, Lompoc Development Review Board, Lompoc Unified School District, and Public Works) prior to Tentative Map approval by the Lompoc Planning Commission.

Parcel Map and Public Improvement Plans shall be reviewed by the City of Lompoc Community Development Department and Public Works Department prior to approval of the Parcel Map by the City Engineer or Final Map by the City Council, as applicable.

All required final plans and reports shall be submitted concurrently with the Parcel Map or Final Map and Public Improvement Plans and reviewed by all pertinent departments and jurisdictions prior to the issuance of grading and building permits.

Any additional timing requirements are listed in the Timing Column.



## ***XI. Mitigation Measures***

<b><i>Mitigation Measure</i></b>	<b><i>Requirements &amp; Monitoring</i></b>	<b><i>Timing</i></b>
<b>Aesthetics</b>		
<b>AES-1.1a:</b> Detached single-family residential structures in Land Use Area 2 located nearest to Harris Grade Road shall be limited to a single story and shall not exceed 24 feet in height above the finished topographic grade.	<p>Single story and height limitation to be noted on tentative maps.</p> <p>Grade Elevations shall be shown on preliminary and final grading plans.</p> <p>Location of single and two-story structures shall be indicated on the preliminary and final development plans for each phase.</p> <p>The Community Development Department and Fire Department/Building and Fire Safety Division shall inspect the residential structures during construction to ensure compliance with approved plans prior to issuance of occupancy permits.</p>	Standard Timing Requirements
<b>AES-1.1b:</b> Detached single-family residential structures in Land Use Area 3 located within 100 feet of Harris Grade Road shall be limited to a single story.	<p>Single story limitation to be noted on tentative maps.</p> <p>Location of single and two-story structures shall be indicated on the preliminary and final development plans for each phase.</p> <p>Location of proposed residential footprints adjacent to Harris Grade Road shall be shown on the preliminary and final grading plans.</p> <p>The Community Development Department and Fire Department/Building and Fire Safety Division shall inspect the residential structures during construction to ensure compliance with approved plans prior to issuance of occupancy permits.</p>	Standard Timing Requirements
<b>AES-1.2:</b> Landscaped perimeter buffers shall be incorporated into all project development plans. These landscaped perimeter buffers shall be established on the outside of any perimeter sound walls along Harris Grade Road and State Highway 1 and shall extend a minimum width of 15 feet with a 30-foot average width as measured from the edge of final roadway pavement to the sound wall. Landscaped buffers shall include a sufficient variety of trees and shrub species and spacing to screen the wall, but at maturity they shall not consistently exceed the height of residential structures adjacent to the perimeter wall or property boundary. Maximum screen tree height shall be kept proportional and in scale with adjacent residential unit heights.	<p>The location and plant species of landscaped perimeter buffers, along with the actual landscaped perimeter buffer areas, shall be indicated on the preliminary and final Master Landscape Plan and on the preliminary and final development plans.</p> <p>The Community Development Department and the Urban Forester shall site inspect in the field after landscaping installation to ensure compliance with the approved Master Landscape Plan prior to issuance of occupancy permits.</p>	<p>Standard Timing Requirements</p> <p>All landscaping shall be maintained in perpetuity, in accordance with the approved plans.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Aesthetics</b>		
<b>AES 3.1.1:</b> Project grading shall follow the contour of the existing project topography to the maximum extent feasible, incorporating residential building footprints that are aligned parallel to project slopes, particularly at the perimeter of the project site.	Existing topographic elevations shall be shown on the preliminary and final grading plans.  Proposed grade and residential unit footprints shall be indicated on the preliminary and final grading and development plans.  The Fire Department/Building and Fire Safety Division shall inspect the residential structures to ensure compliance with approved plans.	Standard Timing Requirements
<b>AES 3.1.2:</b> The architecture for the decorative water tower shall be of a rustic design resembling the figure identified as the Specific Plan Water Tower Conceptual Design contained in the Burton Ranch Specific Plan (see Figure 28). Structural colors of the water tower shall be earth tones such as lighter shades of gray, green, tan, and cream.	The location and architecture and design components of the water tower shall be shown on the preliminary and final development plans and construction plans.  The Community Development Department shall inspect the water tower after construction to ensure compliance with approved plans prior to issuance of occupancy permits.	Standard Timing Requirements
<b>AES-3.2.1:</b> The 6- to 8-foot high perimeter sound walls shall be staggered and shall be architecturally treated and designed to minimize the continuous form and massing as experienced from scenic roadways and to maximize consistency with the Burton Ranch Specific Plan's rustic ranch atmosphere. The sound walls shall incorporate visual variety features such as tiles, patterns or other physical relief. The applicant shall submit color and material samples to the City of Lompoc. A City-approved acoustical engineer shall verify in writing the sound attenuation properties of the sound walls.	A perimeter wall design plan shall be incorporated into the final Specific Plan Design Guidelines and noted on the preliminary and final grading and development plans. The location, height and materials of the sound walls shall be indicated on the preliminary and final grading and development plans.  The Community Development Department and Fire Department/Building and Safety Division shall site inspect in the field to ensure compliance with approved plans.	Standard Timing Requirements  The perimeter sound wall shall be maintained in perpetuity, in accordance with the approved plans.
<b>AES-3.2.2:</b> A Perimeter Landscaping Plan shall be prepared for open space buffers along Harris Grade Road and State Highway 1 to create a landscaped corridor along these rights-of-way. It shall require the spacing and clustering of a variety of street trees, accent trees, and ornamental shrubs capable of completely screening views from the public right-of way of adjacent residential structures, but they shall not consistently exceed the height of residential structures adjacent to the perimeter wall or property boundary. Maximum screen tree height shall be kept proportional and in scale with adjacent residential unit heights. Screen tree species shall generally achieve a height of between 20 to 25 feet at maturity. The perimeter landscape plant species selected shall maximize rapid growth and have the ability to mature in partial shade, assuming some level of sun shading from upper tree canopies. All Harris Grade Road and State Highway 1 street frontage landscaping shall provide a mix of species up to a 36 inch box size and any oak trees proposed near residences shall be a minimum 24 inch box size to provide adequate screening.	The location and plant species of landscaped perimeter buffers, including the spacing and clustering of a mixture of street trees, accent trees and ornamental shrubs, shall be indicated on the preliminary and final Perimeter Landscape Plan and development plans.  The Community Development Department and the Urban Forester shall field inspect to ensure compliance with the approved plans prior to issuance of occupancy permits.	Standard Timing Requirements  Landscaping to be maintained in perpetuity in accordance with approved plans.



<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<p align="center"><b>Aesthetics</b></p> <p><b>AES-3.2.3:</b> The architecture of all residential development shall be of a rustic design consistent with the Burton Ranch Specific Plan architectural guidelines, requiring styles reminiscent of the early Lompoc Valley, including but not limited to Bungalow, Craftsman, Ranch, Country Victorian, European country, Cottage, Barn and Mission. Structural colors shall be limited to earth tones such as lighter shades of gray, green, and cream. Roof treatments shall be consistent with the particular architectural unit style and shall be limited to non-reflective materials and earth tone colors. All development shall be consistent with the City of Lompoc Architectural Review Guidelines.</p>	<p>The Burton Ranch Specific Plan shall be revised to include the architectural specifications noted above for each residential structure within the Burton Ranch Specific Plan area. The architecture of all residential units shall be shown on architectural elevations in the preliminary and final architectural plans and noted on the preliminary and final development and building plans. The preliminary and final architectural plans shall include the specifications discussed above and detailed drawings for each architectural unit within each development phase.</p> <p>The Community Development Department and Fire Department/Building and Fire Safety Division shall site inspect in the field to ensure compliance with approved plans prior to occupancy permits for each lot.</p>	<p>Standard Timing Requirements</p>
<p><b>AES 3.2.4:</b> All second-story structures in Land Use Area 1 within 100-feet of Harris Grade Road and State High-way 1 shall not exceed a maximum height of 30 feet from finished topographic grade. These second-floors shall be partially stepped back from the first-floor walls and oriented away from the adjacent roadways to break up building mass and to reduce the visual effect as experienced from these roadways. These second story floor areas shall be no more than 50 percent of the first-floor area.</p>	<p>The Burton Ranch Specific Plan shall be revised to include the architectural specifications noted above for each residential structure within the Burton Ranch Specific Plan area. The architecture of all residential units shall be shown on architectural elevations in the preliminary and final architecture plans and noted on the preliminary and final development and building plans. The preliminary and final architectural plans shall include the specifications discussed above and detailed drawings for each architectural unit within each development phase.</p> <p>The Community Development Department and Fire Department/Building and Fire Safety Division shall site inspect in the field to ensure compliance with approved plans prior to occupancy permits for each lot.</p>	<p>Standard Timing Requirements</p>
<p><b>AES-4.1:</b> All lighting shall be screened and directed downward. Exterior night lighting installed on the project site shall be of a low intensity, low glare design and shall be hooded to direct light downward onto the subject parcel and prevent spill-over onto adjacent parcels and open space portions of the subject parcels. Lighting adjacent to open space areas and the Burton Mesa Management Area (BMER) shall be of a low level intensity and directed away from these areas. Pole supports shall be of a darker finish to reduce glare. Building wall-mounted and pedestrian walkway lighting fixtures shall be placed at heights that would be sufficiently high to promote safety, but low enough to limit unnecessary spill effects. A Common Area Lighting Plan for all common areas and the passive park shall incorporate these requirements and demonstrate how low level lighting shall be controlled at all times (i.e., use of lighting timers).</p>	<p>A preliminary and final Common Area Lighting Plan and specific preliminary and final Neighborhood Lighting Plans shall be prepared, incorporating these requirements that demonstrate the use of hooded and, where feasible, low-level lighting fixtures, and noted on preliminary and final development plans. The locations of all exterior lighting fixtures and an arrow showing the direction of light being cast by each fixture and the height of the fixtures shall be depicted on the preliminary and final Common Area and Neighborhood Lighting Plans.</p> <p>The Community Development Department and Fire Department/Building and Fire Safety Division shall inspect in the field to ensure compliance with approved plans.</p>	<p>Standard Timing Requirements</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Air Quality</b>		
<p><b>AQ-2.1:</b> If the project site or portion(s) of the project site (any phase) is graded and left unworked for four days or more, the property owner shall employ the following methods immediately to inhibit dust generation until the area is paved or otherwise developed so that dust generation shall not occur:</p> <ul style="list-style-type: none"> <li>a. seeding and watering to revegetate graded areas; and/or</li> <li>b. spreading of soil binders; and/or</li> <li>c. any other methods deemed appropriate by the City of Lompoc.</li> </ul>	<p>These requirements shall be incorporated into the project specifications and shown on the preliminary and final grading and construction plans.</p> <p>The Public Works Department Engineering Division shall perform periodic site inspections during construction to ensure compliance with approved plans.</p>	<p>Standard Timing Requirements</p> <p>Conditions shall be adhered to throughout all grading and construction periods.</p>
<p><b>AQ-2.2:</b> Dust generated by the clearing, grubbing, grading, and/or development activities shall be kept to a minimum, with a goal of retaining dust on the site. The following APCD/City of Lompoc standard dust control measures shall be implemented:</p> <ul style="list-style-type: none"> <li>a. During clearing, grading, earth moving, excavation, or transportation of cut or fill materials, water trucks or sprinkler systems shall be used to prevent dust from leaving the site and to create a crust after each day's activities cease.</li> <li>b. During construction, water trucks or sprinkler systems shall be used to keep all areas of vehicle movement damp enough to prevent dust from leaving the site. At a minimum, this would include wetting down such areas in the later morning and after work is completed for the day and whenever wind exceeds 15 miles per hour</li> <li>c. The area that is cleared shall be limited to a maximum of 15 acres exposed at any time. On-site vehicle speeds shall be limited to 10 miles per hour.</li> <li>d. Gravel entrances or other acceptable mud and sediment removal methods shall be installed at all access points to prevent tracking of mud onto public roads.</li> <li>e. If importation, exportation, and stockpiling of fill material are involved, stockpiled soil shall be covered, kept moist, or treated with soil binders to prevent dust generation from the point of origin to the point of delivery. Trucks transporting fill material to and from the site shall be covered with tarps from the point of origin.</li> <li>f. Soil binders shall be spread on construction sites, unpaved roads and parking areas, as necessary to keep dust from blowing. In areas where mass grading is completed and development is not proposed, a mixture of native grasses and wildflowers shall be planted/hydroseeded in a mixture and at an application rate approved by the Community Development Department. Water shall be applied as needed to ensure the success of the planting effort.</li> <li>g. The construction contractor shall designate a person or persons to oversee the implementation of a comprehensive dust control program and to increase watering, as necessary.</li> </ul>	<p>These requirements shall be incorporated into the project specifications and shown on the preliminary and final grading and construction plans.</p>	<p>Standard Timing Requirements</p> <p>Conditions shall be adhered to throughout all grading and construction periods.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Air Quality</b>		
<p><b>AQ-2.3:</b> The property owner, contractor or builder shall designate a person or persons to monitor the dust control program and to order increased watering, as necessary, to prevent transport of dust off-site. Their duties shall include holiday and weekend periods when work may not be in progress.</p>	<p>The name and telephone number of the Dust Monitor shall be provided to the Community Development Department and Public Works Department. This shall be verified prior to issuance of grading permits for any phase of the project.</p>	<p>The Dust Monitor shall be designated prior to any phase of clearing, grubbing, grading and/or construction activity on-site.</p>
<p><b>AQ-2.4:</b> ROC and NOX emissions generated by construction equipment shall be reduced by application of the following equipment control measures:</p> <ul style="list-style-type: none"> <li>a. Heavy-duty diesel-powered construction equipment manufactured after 1996 (with federally mandated “clean” diesel engines) shall be utilized whenever feasible.</li> <li>b. The engine size of construction equipment shall be the minimum practical size.</li> <li>c. The number of construction equipment operating simultaneously shall be minimized through efficient management practices to ensure that the smallest practical number is operating at any one time.</li> <li>d. Construction equipment shall be maintained in tune per the manufacturer’s specifications.</li> <li>e. Construction equipment operating onsite shall be equipped with two to four degree engine timing retard or pre-combustion chamber engines, if available.</li> <li>f. Catalytic converters shall be installed on gasoline-powered equipment, if feasible.</li> <li>g. Diesel catalytic converters shall be installed, if available.</li> <li>h. Diesel particulate emissions shall be reduced using EPA or California certified and/or verified control technologies like particulate traps, if available.</li> <li>i. Diesel-powered equipment shall be replaced by electric equipment whenever feasible.</li> <li>j. Construction worker trips shall be minimized by encouraging carpooling and making available food for purchase during the lunch break onsite.</li> </ul>	<p>The equipment control measures shall be noted on the preliminary and final grading plans and construction plans.</p> <p>The Public Works Department Engineering Division shall spot check during construction to ensure compliance with approved plans.</p>	<p>Standard Timing Requirements</p> <p>Conditions shall be adhered to throughout all grading and construction periods.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Air Quality</b>		
<p><b>AQ-3.1:</b> The project applicant shall incorporate the following APCD energy conservation measures into project building plans unless the applicant submits proof of infeasibility acceptable to the City of Lompoc:</p> <ul style="list-style-type: none"> <li>a. Install low-NOX residential water heaters and space heaters.</li> <li>b. Install heat transfer modules in furnaces.</li> <li>c. Use outdoor lighting designed for high efficiency, i.e., solar-powered or controlled by motion detectors.</li> <li>d. Site and orient buildings in such a manner as to reduce energy use, i.e., passive solar cooling/heating.</li> <li>e. Use light colored water-based paint and roofing materials.</li> <li>f. Employ summer shading and wind protection measures to increase energy efficiency.</li> <li>g. Install mechanical air conditioners that use non-ozone depleting chemicals.</li> <li>h. Maximize the use of natural lighting.</li> <li>i. Install energy efficient appliances and lighting.</li> <li>j. Use landscaping to shade buildings and parking lots.</li> <li>k. Install sidewalks and bike paths.</li> <li>l. Install covered bus stops, where appropriate, to encourage the use of public transportation.</li> </ul>	<p>The project applicant(s) shall incorporate the listed energy conservation measures into the preliminary and final grading plans, as applicable, or shall submit proof of infeasibility to the City of Lompoc.</p> <p>Building siting and orientation, colors and materials, and proposed bus stop locations shall be indicated on preliminary and final development plans.</p> <p>All measures shall be included in the project specifications and shown on the preliminary and final development plans for every development phase.</p> <p>Energy Conservation measures shall be shown on building and construction plans, as applicable.</p> <p>The Community Development Department, Public Works Department Engineering Division and Fire Department/Building and Fire Safety Division shall site inspect to insure compliance with approved plans prior to occupancy permits</p>	<p>Standard Timing Requirements</p> <p>Bus shelter locations shall be approved by the Aviation and Transportation Administrator prior to issuance of grading permits.</p> <p>All landscaping shall be maintained in perpetuity, in accordance with approved plans.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Biology</b>		
<p><b>BIO-1.1a:</b> The loss and fragmentation of Burton Mesa chaparral from the project site, especially along the northern boundary that is contiguous with the BMER, shall be minimized. Residential and educational development shall maximize avoidance or preservation of Burton Mesa chaparral such that preserved areas are accessible to and used by wildlife species. Grading and siting of proposed residential and educational development shall demonstrate efforts to maximize preservation of existing Burton Mesa chaparral habitat.</p>	<p>Existing Burton Mesa chaparral to be preserved shall be indicated on the Burton Mesa Habitat Preservation Plan and preliminary and final grading and development plans for Land Use Areas 2 through 6 prepared in consultation with a City-qualified botanist.</p> <p>The Community Development Department shall conduct a site inspection before, during, and after construction to ensure compliance with approved plans prior to issuance of occupancy permits.</p>	<p>Standard Timing Requirements</p> <p>The Burton Mesa Habitat Preservation Plan and final grading plans and development plans shall be submitted concurrently with the Parcel Map or Final Map and Public Improvement Plans.</p> <p>No clearing or grubbing shall occur on-site without prior approval from the City of Lompoc.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<p align="center"><b>Biology</b></p> <p><b>BIO-1.1b:</b> 1: Native habitats not affected by clearing, grubbing, grading, and construction activities, including areas designated as open space (Land Use Area 7) and the adjacent BMER (along the northern boundary of the property) shall be during project construction and occupancy. At a minimum, a 100-foot buffer between the BMER on the northern project boundary and any activities associated with project development prohibiting vegetation removal, ground disturbance, human access, fire management, or other actions associated with construction or occupancy of the project site shall be required.</p> <p>Any chaparral removal for pre-construction clearing or grubbing shall be preceded by a biological survey and be monitored if deemed necessary by the survey biologist. Any grading or clearing in future protection buffer areas or other areas designated as open space shall be subject to onsite restoration.</p> <p>The boundary of open space Land Use Area 7 located within 50-feet of any future ground disturbances shall be temporarily fenced (i.e., with plastic construction or chain link fence) throughout all vegetation clearing, grubbing, grading, and construction activities. All personnel, equipment, and ground disturbances including grading for buildings, roads, easements, utilities, staging areas, and vegetation removal shall be prohibited within the open space area.</p> <p>A solid, non-combustible material, 6-feet high wall shall be erected along the 100-foot buffer boundary to prevent access and to protect the buffer area and adjacent BMER.</p> <p>In order to avoid additional indirect impacts on native habitat south of the solid wall, one of the following (a, b, or c) is required:</p> <p>a. Set back all habitable and accessory structures a minimum of 200 feet from the northern project site boundary. This would provide for the 100-foot buffer, a 30-foot vegetation removal area adjacent to residential structures, and an additional 70-foot wide fuel modification zone. Non-structural improvements including landscaping and roadways shall be limited to the 30-foot cleared zone extending north from the structures.</p> <p>b. Establish a 300-foot buffer area between project development and the BMER to ensure additional protection of the habitat and reduce the impact on Burton Mesa chaparral (see Figure 4.3-2). Alternatively, to minimize the loss of Burton Mesa chaparral, the 300-foot buffer could be averaged across the northern boundary of the property (this would include the 100-foot minimum buffer at the northeast corner of the site, greater than 100-foot buffer at the northern boundary, and all of Land Use Area 7, as depicted in Figure 4.3-2).</p> <p>c. Construct an internal non-collector roadway parallel to and directly south of the solid wall (see Figure 4.3-3). The paved roadway would act as a firebreak that would minimize the amount of area requiring vegetation clearance and maintenance south of the wall.</p> <p>Designated onsite open space or other sensitive areas shall be fenced temporarily (such as with construction fence or chain link fence) or otherwise identified and avoided throughout all clearing, grubbing, grading and construction activities. All personnel, equipment and ground disturbances, including grading for buildings, roads, easements, utilities, staging areas and vegetation removal shall be prohibited within the buffer areas or other designated off-limit areas.</p>	<p>The applicant shall indicate all native habitat preservation buffers on the preliminary and final grading plans and development plans.</p> <p>Restrictions and fencing applicable to native habitat preservation buffers shall be indicated on preliminary and final grading plans and development plans.</p> <p>Any chaparral removal for pre-construction clearing or grubbing shall be preceded by a biological survey and be monitored, if deemed necessary by the survey biologist.</p> <p>Grading and construction activities shall be conducted in accordance with native habitat preservation buffers.</p> <p>The Community Development Department shall inspect the development in the field to ensure compliance with approved plans and incorporation of preservation buffers prior to issuance of occupancy permits.</p>	<p>Standard Timing Requirements</p> <p>No clearing, grubbing or grading shall occur on-site without prior approval from the City of Lompoc.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Biology</b>		
<b>BIO-1.1c:</b> Equivalent acreage (i.e., 1:1 ratio) for disturbed (either removed or fragmented) on-site biological habitat that supports similar quality native habitats including Burton Mesa chaparral shall be purchased and preserved in open space. Purchase and preservation preference shall be given to areas contiguous with or that can be incorporated into the Burton Mesa Management Area (BMER) to offset the loss of this habitat type. If an off-site mitigation is proposed, an off-site Burton Mesa Chaparral Habitat Acquisition and Preservation Plan shall be required.	<p>The preliminary and final Off-site Habitat Acquisition and Preservation Plan indicating the location, acreage and comparable quality native habitat and that dedicates the land to the BMER in perpetuity via a conservation or open space easement shall be prepared by a City-qualified biologist.</p> <p>The requirement for an Off-site Burton Mesa Chaparral Habitat Acquisition and Preservation Plan shall be noted on the preliminary and final development plans.</p> <p>The Community Development Department shall inspect the off-site Burton Mesa chaparral habitat acquired in the field to ensure compliance with approved plans prior to issuance of occupancy permits.</p>	<p>Standard Timing Requirements</p> <p>The acquisition and dedication of land shall be completed prior to issuance of grading and building permits.</p>
<p><b>BIO-1.1d:</b> If off-site mitigation is proposed and the quality of off-site Burton Mesa is not equivalent to the habitat lost on-site, an Off-Site Habitat Restoration Plan shall be submitted that includes the following:</p> <p>a. A map depicting the location of the project site relative to the off-site Burton Mesa chaparral mitigation site..</p> <p>b. Specifics for sources of plant materials (including salvaging from the project site, if appropriate), seeding (including timing for seed collection and seeding methods), planting methods and timing, planting density, plant protection, and maintenance. All native plant materials for restoration shall be collected locally.</p> <p>c. Monitoring and maintenance requirements including frequency and timing of watering, weed control methods and timing, and monitoring and reporting procedures. The maintenance requirements shall be no less than 5 years unless satisfactory habitat is established before that time.</p> <p>d. Performance criteria that specify the minimum requirements for size and health of replacement plants including a period of time without supplemental watering. The maintenance requirements shall be no less than 5 years unless satisfactory habitat is established before that time.</p>	<p>A preliminary and final Off-Site Burton Mesa Habitat Restoration Plan shall be prepared by a City-qualified botanist with expertise in habitat restoration that includes at a minimum the elements described above and shall include a monitoring plan based on performance criteria. The requirement for an Off-site Burton Mesa Habitat Restoration Plan shall be noted on the preliminary and final development plans.</p> <p>The Community Development Department shall inspect the off-site Burton Mesa chaparral habitat acquired and restored in the field to ensure compliance with approved plans prior to approval of occupancy permits.</p> <p>An annual report shall be submitted to the Community Development Department for review.</p>	<p>Standard Timing Requirements</p> <p>The acquisition and dedication of land for restoration shall be completed prior to issuance of grading and building permits.</p>



<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Biology</b>		
<p><b>BIO-1.1e:</b> If sufficient off-site Burton Mesa chaparral habitat is not available for purchase or restoration, the applicant shall enter into an agreement with the State of California Department of Fish and Game to pay a fee-per-acre into the existing Santa Barbara County Burton Mesa Chaparral Management Fund for purchase and protection of Level I and Level II habitats equivalent to the onsite habitat acreage lost.</p>	<p>Any on-site areas designated as environmental exclusions or no-construction zones for the protection of sensitive biological resources, such as Burton Mesa chaparral, including open space (Land Use Area 7), buffer areas that support native vegetation, and the BMER, shall be depicted on the preliminary and final grading and development plans.</p> <p>For any balance of Burton Mesa chaparral habitat that cannot be preserved or restored off-site, the fee-per-acre agreement shall be submitted with the preliminary and final grading and development plans.</p> <p>The Community Development Department shall ensure the payment of required fees to the State of California Department of Fish and Game prior to issuance of occupancy permits.</p>	<p>Standard Timing Requirements</p> <p>The fee-per-acre agreement shall be reviewed by the Community Development Department, Development Review Board and City Attorney prior to tentative map approval by the Planning Commission.</p> <p>Subsequent to approval of the fee-per acre agreement and prior to issuance of grading permits, the applicant shall submit verification of the payment of fees to the State of California Department of Fish and Game.</p>
<p><b>BIO-1.2:</b> Areas temporarily affected by construction or remediation activities outside of future development envelopes within the Purisima mitigation site within disturbed, non-native habitats shall be restored to pre-disturbance condition to the maximum extent feasible. The Off-Site Habitat Restoration Plan shall include the following:</p> <ul style="list-style-type: none"> <li>a. A map depicting the location of the impacted habitats and the extent of the restoration. .</li> <li>b. Specifics for sources of plant materials (including salvaging from the project site, if appropriate), seeding (including timing for seed collection and seeding methods), planting methods and timing, planting density, plant protection and maintenance. All native plant materials for restoration shall be collected locally.</li> <li>c. Monitoring and maintenance requirements, including frequency and timing of watering, weed control methods and timing, and monitoring and reporting procedures. The maintenance requirements shall be no less than 5 years unless satisfactory habitat is established before that time.</li> <li>d. Performance criteria that specify the minimum requirements for size and health of replacement plants, including a period of time without supplemental watering. The maintenance requirements shall be no less than 5 years unless satisfactory habitat is established before that time.</li> <li>e. An annual report shall be submitted to the City of Lompoc Community Development Department for review.</li> </ul> <p>*The preceding mitigation measure would be included as a note on the Purisima site easement granted to the California Department of Fish and Game.</p>	<p>A preliminary and final Off-site Burton Mesa Habitat Restoration Plan shall be prepared by a City-qualified botanist with expertise in habitat restoration that includes at a minimum the elements described above and shall include a monitoring plan based on performance criteria. The requirement for an Off-site Burton Mesa Habitat Restoration Plan shall be noted on the preliminary and final development plans.</p> <p>The Community Development Department shall inspect the off-site Burton Mesa chaparral habitat acquired and restored in the field to ensure compliance with approved plans prior to approval of occupancy permits.</p>	<p>Standard Timing Requirements</p> <p>The acquisition and dedication of land for restoration shall be completed prior to issuance of grading and building permits.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Biology</b>		
<p><b>BIO-1.4:</b> A City-qualified biologist shall be retained to conduct the following survey and monitoring activities during initial clearing, grubbing and/or mass grading of the site or portions of the site and construction. All surveys shall be conducted prior to clearing, grubbing and/or grading, and prior to issuance of grading permits.</p> <p>a. The biologist shall conduct pre-construction reconnaissance level surveys of the disturbance area to determine the presence of common animal species and the potential capture and relocation of individual animals, to the extent feasible.</p> <p>b. The biologist shall be on-site for the initial phases of clearing, grubbing and grading activities and initial construction activities of each development phase to monitor impacts to wildlife. The monitor shall also ensure that avoidance of native vegetation occurs where feasible.</p> <p>c. Construction fencing or some other appropriate barrier to movement (such as chain-link fence, silt fence, or other temporary barrier) shall be established to minimize animals moving back into the construction zone, and the area shall be periodically surveyed and animals removed.</p> <p>d. The biologist shall periodically visit the site during the construction phase to implement measures to reduce or eliminate injury and mortality of resident wildlife species.</p> <p>e. The biologist shall submit a report detailing the results of any capture and relocation efforts subsequent to the commencement of clearing, grubbing and/or grading.</p> <p>f. The biologist shall be responsible for monitoring activities and shall produce a final monitoring report</p>	<p>The City-qualified biologist shall prepare a preliminary and final Pre-construction Wildlife Survey and Monitoring Plan with a scope of work and budget, including a monitoring program, to be paid by the developer. All wildlife movement barriers shall be noted on the preliminary and final Preconstruction Wildlife Survey and Monitoring Plan and the preliminary and final grading plans.</p> <p>The preliminary Pre-construction Wildlife Survey and Monitoring Plan and preliminary grading plans shall be submitted with tentative maps.</p> <p>The final Pre-construction Wildlife Survey and Monitoring Plan and final grading plans shall be submitted concurrently with the Parcel Map or Final Map and Public Improvement Plans.</p>	<p>Standard Timing Requirements</p> <p>No clearing or grubbing shall occur on-site without City of Lompoc approval.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<p align="center"><b>Biology</b></p> <p><b>BIO-1.5:</b> A Landscape and Open Space Management Plan shall be prepared for the Burton Ranch Specific Plan area for public, common and open space areas. The plan shall include the following:</p> <p>a. A landscaping plan that restricts the use of ornamentals or cultivars that could invade or otherwise cause the degradation of adjacent native plant communities on-site and off-site. (Ornamental plants that do not have the potential to escape into native habitats would be acceptable).</p> <p>b. Provisions for using locally collected native plant materials for any native plant landscaped areas or on-site restoration areas.</p> <p>c. Identity of the party responsible for the long-term maintenance and management of the undeveloped portions of the site, including open space areas, fire management zones, public landscaped areas and any other areas not included in the developed portion of the site (e.g., Homeowners Association).</p> <p>d. Provisions for monitoring and maintaining open space areas, fuel management zones and other undeveloped portions of the site for presence and control of non-native, invasive exotic species.</p> <p>e. All landscaped and open space areas that shall be maintained by a Homeowner’s Association.</p> <p>f. Location and plan for removal of all invasive species.</p>	<p>A licensed landscape architect shall prepare a preliminary and final Landscape and Open Space Management Plan.</p> <p>Plan components shall be shown on the preliminary and final Landscape and Open Space Management Plan and development plans.</p> <p>The Community Development Department and the Urban Forester shall conduct an on-site inspection after landscaping installation to ensure compliance with the approved Landscape and Open Space Management Plan prior to issuance of occupancy permits.</p>	<p>Standard Timing Requirements</p> <p>All landscaping shall be maintained in perpetuity, in accordance with the approved plans.</p>
<p><b>BIO-2.1a:</b> The following procedures shall be followed for the protection of sensitive plant species:</p> <p>a. Sensitive plant species shall be avoided (Mitigation measure BIO-1.1a), if feasible, and protection measures (Mitigation measure BIO-1.1b) implemented where these species occur. Clustering development and avoiding areas of Burton Mesa chaparral (Mitigation measure BIO 1.1a) would also reduce potential impacts on sensitive plant species associated with this habitat type including Sand Mesa manzanita and La Purisima manzanita.</p> <p>b. Where loss of sensitive plants cannot be avoided, sensitive plants that are removed or otherwise affected by project activities shall be incorporated in on-site restoration activities or in the landscaping plan, especially in areas that are adjacent to Land Use Area 7 and the BMER to the north.</p>	<p>Existing and proposed sensitive plant species locations shall be incorporated in the preliminary and final Landscape and Open Space Management Plan and development plans.</p> <p>The Community Development Department and a City-qualified restoration specialist shall review the preliminary and final Landscape and open Space management plan and development plans, tentative maps, Parcel Map, Final Map, and Public Improvement Plans to ensure consistency with the indicated landscape requirements.</p> <p>The Community Development Department shall conduct an on-site inspection after landscaping installation to ensure compliance with the approved Landscape and Open Space Management Plan prior to issuance of occupancy permits and shall conduct site inspections throughout all phases of the development and operation to ensure compliance and evaluate the success of the landscape plan.</p>	<p>Standard Timing Requirements.</p> <p>All landscaping shall be maintained in perpetuity, in accordance with the approved plans.</p> <p>No clearing or grubbing shall occur on-site without City of Lompoc approval.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<p align="center"><b>Biology</b></p> <p><b>BIO-2.1b:</b> The Landscape and Open Space Management Plan and Off-site Burton Mesa Habitat Restoration Plan shall include sensitive plant species. Seed or cuttings of these species shall be collected and propagated from the affected area to ensure genetic replacement for lost plants.</p>	<p>Collection sites for the affected plants, timing for collection and handling of seed and plant material, and methods for growing and planting sensitive plant species shall be identified on the preliminary and final Landscape and Open Space Management Plan and Off-site Burton Mesa Habitat Restoration Plan and preliminary and final grading and development plans.</p> <p>The City of Lompoc Community Development Department and a City-qualified restoration specialist shall review the preliminary and final Landscape and Open Space Management Plan, Off-Site Burton Mesa Habitat Restoration Plan, grading plans, development plans, tentative maps, Parcel Map, Final Map, and Public Improvement Plans to ensure consistency with the indicated landscape requirements.</p> <p>The Community Development Department and a City-qualified restoration specialist shall review the preliminary and final Landscape and open Space management plan and development plans, tentative maps, Parcel Map, Final Map, and Public Improvement Plans to ensure consistency with the indicated landscape requirements.</p> <p>The Community Development Department shall conduct an on-site inspection after landscaping installation to ensure compliance with the approved Landscape and Open Space Management Plan and Off-site Burton Mesa Habitat Restoration Plan prior to issuance of occupancy permits and shall conduct site inspections throughout all phases of the development and operation to ensure compliance and evaluate the success of the landscape plan.</p>	<p>Standard Timing Requirements</p> <p>All landscaping shall be maintained in perpetuity, in accordance with the approved plans.</p> <p>No clearing or grubbing shall occur on-site without City approval.</p>
<p><b>BIO-2.2a:</b> A City-qualified biologist shall conduct surveys throughout areas that would be disturbed to determine the presence or absence of sensitive wildlife species (legless lizard, American badger, coast horned lizard) prior to ground disturbance. All surveys shall be conducted prior to clearing, grubbing and/or grading and prior to issuance of grading permits. Any sensitive wildlife species that are found shall be captured and relocated to the nearest suitable habitat, to the extent feasible.</p> <p>a. The biologist shall be present on-site during initial site preparation and ground disturbance activities (i.e., clearing, grubbing, grading, vegetation removal) during each phase of the project to ensure that sensitive species are not present in the disturbance area.</p> <p>b. For the American badger, inactive dens shall be excavated by hand with a shovel to prevent badgers from re-using them during construction. If active dens are detected, badgers shall be discouraged from using these dens prior to grading, clearing and/or grubbing of the site by partially blocking the entrance of the den with sticks, debris and soil for 3 to 5 days. Access to the den shall be incrementally blocked to a greater degree over this period. This would cause the badger to abandon the den site and move elsewhere. After badgers have stopped using active dens</p>	<p>A City-qualified biologist shall prepare a Pre-construction Wildlife Survey and Monitoring Plan addressing the legless lizard, American badger and coast horned lizard, with a scope of work and budget, including a monitoring program, to be paid by the developer.</p> <p>All badger dens shall be noted on the Pre-construction Wildlife Survey and Monitoring Plan and preliminary and final grading plans.</p> <p>The Community Development Department shall review the Pre-construction Wildlife Survey and Monitoring Plan, preliminary and final grading plans, tentative maps, Parcel Map, Final Map, and Public Improvement Plans to ensure consistency with the preconstruction surveys.</p> <p>The biologist shall submit a preliminary report after clearing, grubbing and/or grading have been started, detailing the results of any capture and relocation efforts to the Community Development Department.</p> <p>The biologist shall submit the final Pre-construction Wildlife Survey and Monitoring report to the City of Lompoc at the completion of grading.</p>	<p>Standard Timing Requirements</p> <p>No clearing or grubbing shall occur on-site without City approval.</p>

<p>within the project boundary, the dens shall be hand-excavated with a shovel to prevent re-use. If newly active badger dens are found during construction activities, all work in that area shall cease until the biologist can safely close the badger den. Once the badger dens have been closed, work on the site may resume.</p> <p>c. A report of the survey and monitoring results shall be submitted to the Community Development Department.</p>	<p>The Community Development Department shall inspect the development in the field to ensure compliance with the approved plan and shall review and approved the final monitoring report prior to issuance of building permit.</p>	
<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Biology</b>		
<p><b>BIO-2.2.b:</b> Initial ground disturbances (i.e., grading, clearing, grubbing and/or shrub removal) within grassland, oak woodland, coastal sage scrub and chaparral habitats shall avoid the bird breeding season between March 1 to August 15 to the maximum extent feasible. Where the applicant can document that this is infeasible due to economic factors, all ground disturbances occurring between March 1 to August 15 shall be preceded by a pre-construction survey for nesting birds to provide specific information on any nesting activities. A no-construction buffer area shall be established extending 300-feet from all nesting areas. A Pre-construction Bird Breeding Survey and Monitoring Plan, locating all on-site potential grassland, oak woodland, coastal sage scrub and chaparral habitats and bird nests onsite, with a scope of work and budget, shall be prepared by the developer for all ground disturbances occurring between March 1 to August 15..</p>	<p>The applicant shall provide economic justification for all disturbances between March 1 to August 15. A City-qualified biologist shall prepare a preliminary and final Pre-construction Bird Breeding Survey and Monitoring Plan. All potential breeding habitats and bird nests and the 300-foot no construction buffer areas shall be noted on the preliminary and final Pre-construction Bird Breeding Survey and Monitoring Plan and grading plans.</p> <p>The Community Development Department shall review the preliminary and final Pre-construction Bird Breeding Survey and Monitoring Plan and grading plans, tentative maps, Parcel Map, Final Map, and Public Improvement Plans to ensure consistency with pre-construction surveys.</p> <p>The biologist shall submit a preliminary report after clearing, grubbing and/or grading have been started, detailing the results of any capture and relocation efforts to the Community Development Department.</p> <p>The biologist shall submit the final Pre-construction Bird Breeding Survey and Monitoring report to the City of Lompoc at the completion of grading.</p> <p>The Community Development Department shall inspect the development in the field to ensure compliance with the approved plan and shall review and approve the final monitoring report prior to issuance of building permits.</p>	<p>Standard Timing Requirements</p> <p>No clearing or grubbing shall occur on-site without City approval.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<p align="center"><b>Biology</b></p>		
<p><b>BIO-3.1:</b> An Oak Tree Protection and Replacement Plan shall be prepared by a City-qualified arborist to address the loss of “specimen” oak trees (i.e., greater than 6” in diameter at breast height [DBH]) as a result of buildout in Plan Unit 2 that are not otherwise compensated for through acquisition and preservation of Burton Mesa chaparral and oak savannah habitat. The plan shall include the following:</p> <p>a. The location and extent of the oak tree driplines and the type and location of any protective fencing for only those specimen trees designated by the Oak Tree Protection and Replacement Plan to be preserved in Plan Unit 2 outside of proposed grading for residential structures, roadways, and landscaping. The fencing (e.g., chain-link or other material satisfactory to the City) shall be installed 6 feet outside the dripline of each specimen oak tree, and shall be staked every 6 feet to ensure the integrity of the protective fence.</p> <p>b. Any individual project site specimen oak trees that are inadvertently damaged or killed by construction grading, filling, heavy equipment operation, or new landscaping shall be mitigated in terms of their lost habitat area, as determined by the City of Lompoc Urban Forester.</p> <p>c. Oak tree plantings shall be from acorns collected and grown by a qualified nursery or botanist/arborist from local sources (i.e., within the watershed of the planting area or from the Purisima Hills near Lompoc). The trees shall be planted, protected with gopher fencing and irrigated (drip irrigation on a timer), and shall survive through the first 3-years of the maintenance period. During the final two-years, trees shall require reduced maintenance and no irrigation to determine ability of the tree(s) to survive unaided. Replacement tree establishment dictated by survival of at least 50 percent of the planted trees shall be determined after a 5-year period by the City of Lompoc Urban Forester.</p> <p>d. A mitigation replacement tree performance security shall be posted by the applicant as defined by the City Urban Forester prior to issuance of grading permits, and shall be held through to occupancy.</p>	<p>Individual oak trees to be protected or replaced, driplines, and the limit of protective fencing shall be shown on the preliminary and final Oak Tree Protection and Replacement Plan and preliminary and final grading and development plans.</p> <p>Replacement trees shall be installed and maintained in accordance with the approved plan.</p> <p>Protected and replacement oaks shall be indicated on the preliminary and final Oak Tree Protection and Replacement Plan grading plans and development plans.</p> <p>The Community Development Department shall review the preliminary and final Oak Tree Protection and Replacement Plan, preliminary and final grading plans and development plans, tentative maps, Parcel Map, Final Map, and Public Improvement Plans to ensure consistency with the indicated protected and replacement oaks.</p> <p>The Community Development Department and the Urban Forester shall conduct site inspections after oak tree replacement installation to ensure compliance with the approved Oak Tree Protection and Replacement Plan prior to issuance of occupancy permits and to evaluate the success of tree protection and replacement measures.</p>	<p>Standard Timing Requirements</p> <p>Timing of each measure shall be stated where applicable. Where not otherwise stated, all protection measure shall be in place throughout all grading and construction activities. No clearing, grubbing or grading shall occur on-site without City approval.</p>



<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Biology</b>		
<p>BIO-3.2a The loss and fragmentation of native habitats, including Burton Mesa chaparral, coastal scrub and seasonal wetlands shall be avoided by locating the proposed residential development in the northeastern portion of the site adjacent to Harris Grade Road. Future residential development shall be restricted to ruderal, disturbed and degraded coastal scrub habitats as defined in the LFR Report (September 20, 2004) such that all construction and Santa Barbara Fire Department fuel maintenance requirements extending 100 feet from habitable structures completely avoids Burton Mesa chaparral and seasonal wetlands.</p> <p>BIO-3.2b Native habitats not affected by clearing, grubbing, grading, and construction activities, including areas designated as open space in the adjacent BMER (along the northern and southern boundary of the Purisima mitigation site) shall be protected by a preservation buffer. The area between the existing BMER and any future residential development ground and vegetation disturbances shall be preserved. No vegetation removal, ground disturbance, human access, fire management, or other actions associated with construction or occupancy of the project site shall be allowed within this preservation area. A solid, 6-foot high wall, made from non-combustible material, shall be erected between the residential development vegetation disturbance area and the preservation area to prevent access and to protect the adjacent BMER (as proposed in the Burton Ranch Specific Plan EIR, but an alternative fence may be suitable depending on the requirements of the CDFG, managers of the BMER). The wall shall be constructed and in place prior to any residential development within disturbed ruderal areas. In order to allow for the required 30-foot vegetation removal adjacent to residential structures and additional 70-foot wide fuel modification zone, all habitable and accessory structures shall be set back a minimum of 200 feet (i.e., a 30-foot clearing, 70-foot fuel modification zone, and 100-foot buffer) from the future BMER boundary identified by the CDFG.</p> <p>BIO-3.2c The boundary of any sensitive native habitat areas not included within the expanded BMER and within 50-feet of any future ground disturbances related to development or remediation shall be temporarily fenced (i.e., with plastic construction or chain link fence) throughout all vegetation clearing, grubbing, grading, and construction activities. All personnel, equipment, and ground disturbances including grading for buildings, roads, easements, utilities, staging areas, and vegetation removal shall be prohibited within the preserved areas or other designated off-limit areas.</p>	<p>These mitigation measures would reduce impacts to native habitats resulting from future residential development of the Purisima site. These mitigation measures would be required on the Purisima mitigation site open space easement.</p> <p>Although these mitigation measures are recommended for preservation of Purisima mitigation site habitats outside of the residential development envelope, it should be noted that these measures are subject to review by the agency accepting management responsibility for the open space easement. The mitigation measures may be modified to accommodate the requirements of the agency assuming management responsibility for the Purisima mitigation site.</p> <p>The Plan Requirements, Timing and Monitoring components of these notes to the Purisima mitigation site Open Space Easement would be incorporated from Mitigation Measure BIO-1.1c.</p>	<p>Standard Timing Requirements</p> <p>The acquisition and dedication of land shall be completed prior to issuance of grading and building permits.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Biology</b>		
<p>BIO-3.2d A Purisima mitigation site open space easement excluding the residential development area shall be reviewed and approved by the City of Lompoc Community Development Department, and shall be dedicated to an approved management agency (e.g., CDFG).</p> <p>a. A fence suitable to preclude encroachment into the Purisima mitigation site from the residential development shall be constructed. The specific material type and height of fence shall be determined by the management agency accepting the open space easement.</p> <p>b. Signs to limit encroachment and/or disallowed uses between the open space easement and the residential development shall be installed.</p> <p>BIO-3.2e A drainage and erosion control plan shall be designed to minimize adverse effects on seasonal wetland resources on-site and downstream areas off the Purisima mitigation site. In addition, project grading shall require a Storm Water Pollution Prevention Plan (SWPPP) from the Regional Water Quality Control Board. Filters, including oil/water separators, shall be installed at any location where storm water enters wetlands or natural drainages. Sediment filters shall be installed wherever storm water would not be retained in a retardation basin.</p> <p>BIO-3.2f The Purisima mitigation site residential development shall include a Landscaping Plan that includes the following:</p> <p>a. A landscaping plan that restricts the use of ornamentals or cultivars that could invade or otherwise cause the degradation of adjacent native plant communities in the BMER. (Ornamental plants that do not have the potential to escape into native habitats would be acceptable).</p> <p>b. Provisions for using locally collected native plant materials for any native plant landscaped areas or restoration areas.</p> <p>c. Identity of the party responsible for the long-term maintenance and management of the residential area including any undeveloped portions of the site, open space areas, fire management zones, and any other areas not included in the developed portion of the site.</p> <p>d. Provisions for monitoring and maintaining open space areas, fuel management zones, and other undeveloped portions of the site for presence and control of non-native, invasive plant species.</p>	<p>These mitigation measures are recommended for preservation of Purisima mitigation site habitats outside of the residential development envelope. However, it should be noted that these measures are subject to review by the agency accepting management responsibility for the open space easement. The mitigation measures may be modified to accommodate the requirements of the agency assuming management responsibility for the Purisima mitigation site.</p>	

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Biology</b>		
<p><b>BIO-5:</b> Drainage Basin 3 shall be designed such that it is capable of supporting wetland vegetation similar to existing on-site conditions. Other drainage basins shall also be designed to support wetland habitats, if the location is appropriate and suitable conditions for establishing wetland vegetation can be attained. Revegetation of the drainage swale(s) shall be described in a separate Wetland Mitigation and Restoration Plan or incorporated into the Landscape and Open Space Management Plan (Mitigation Measure <b>BIO-1.5</b>) for the project site. At a minimum, the plan shall include the following:</p> <ul style="list-style-type: none"> <li>a. Identification of existing wetland areas and drainage swales proposed for restoration or creation of wetland habitats.</li> <li>b. List of native plant species to be included in the planting (wetland, transition, and upland species).</li> <li>c. Propagation and planting methods including locations for collection of seeds or cuttings (all native plants shall be from locally collected plant materials).</li> <li>d. Performance criteria to ensure the successful establishment of wetland plant species and the drainage basins function as planned.</li> <li>e. Long-term management of the basins, including timing and methods for periodic maintenance (such as sediment removal) that protects the restored or created wetland resources while ensuring the basins continue to function as planned.</li> </ul> <p>The master drainage and erosion control plan shall be designed to minimize adverse effects on seasonal wetland resources on-site and downstream areas off the site. In addition, project grading shall require a Storm Water Pollution Prevention Plan (SWPPP) from the Regional Water Quality Control Board. Filters, including oil/water separators, shall be installed at any location where storm water enters a detention basin or drainage device. Sediment filters shall be installed wherever storm water would not be retained in a detention basin.</p>	<p>Location of filters, oil/water separators, sediment filters, etc. shall be indicated on the preliminary and final Master Drainage and Erosion Control Plan, preliminary and final Wetland Mitigation and Restoration Plan and/or revised Landscape and Open Space Plan and preliminary and final grading plans.</p> <p>The Community Development Department and Public Works Department, Engineering Division, shall review the preliminary and final Master Drainage and Erosion Control Plan, preliminary and final Wetland mitigation and Restoration Plan and/or revised Landscape and Open Space Plan along with preliminary and final grading plans, tentative maps, Parcel Map, Final Map, and Public Improvement Plans to ensure consistency.</p> <p>The Community Development Department and Public Works Department Engineering Division shall conduct a site inspection after installation to ensure compliance with approved plans prior to occupancy permits.</p>	<p>Standard Timing Requirements</p> <p>No grading shall occur on-site without City approval.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Cultural Resources</b>		
<p><b>CR-1.1:</b> In the event that unknown archaeological artifacts are encountered during grading, clearing, grubbing and/or construction activities associated with the proposed project, work shall be stopped immediately in the vicinity of the find and the resource shall be evaluated by a City-qualified archaeologist. An appropriate plan for the preservation of the artifacts from the site shall be prepared, and implementation of the plan shall be overseen by a City-qualified archaeologist prior to commencement of ground disturbing activities.</p>	<p>Subsequent to encountering the cultural resource onsite, the applicant shall enter into a contract with a City-qualified archeologist. A Construction Treatment Plan consistent with the City of Lompoc Cultural Resources Study shall be developed and implemented. The plan shall describe</p> <ul style="list-style-type: none"> <li>a) procedures for notifying the City and other involved or interested parties in case of a new discovery;</li> <li>b) procedures that would be used to record, evaluate and mitigate new discoveries with a minimum of delay;</li> <li>c) procedures that would be followed in the case of discovery of disturbed as well as intact human burials and burial-associated artifacts.</li> </ul> <p>The requirement for such a Construction Treatment Plan shall be noted on the preliminary and final grading and construction plans.</p> <p>A City-qualified archaeologist shall evaluate the significance of all previously unknown archeological artifacts encountered during construction and determine proper mitigation.</p>	<p>Standard Timing Requirements</p> <p>In the event that cultural resources are identified during construction, a Construction Treatment Plan shall be prepared by a City-qualified archaeologist and funded by the applicant for review and approval by the City of Lompoc.</p>
<p><b>CR-1.2:</b> In the event that unknown human remains are encountered during grading, clearing, grubbing and/or construction activities associated with the proposed project, all excavation and ground disturbing work on or adjacent to the project site (or area of discovery) shall be stopped immediately in the vicinity. The Santa Barbara County Coroner shall be contacted and the Native American Heritage Commission shall be notified immediately. The site shall be evaluated by the most likely Chumash descendant identified by the Native American Heritage Commission and a City-qualified archaeologist.</p>	<p>The requirement for a Human Remains Treatment Plan shall be noted on the preliminary and final grading and construction plans.</p> <p>Subsequent to encountering unknown human remains, the applicant shall enter into a contract with a City-qualified archeologist and the most likely Chumash Descendant (identified by the Native American Heritage Commission) to develop a Human Remains Treatment Plan consistent with the City of Lompoc Cultural Resources Study. The Treatment Plan shall be developed and implemented to ensure that any human remains are identified and a satisfactory plan for their disposition in an area that would not be subject to subsequent disturbances is developed, suitable to the most likely Chumash descendant.</p> <p>The disposition of any human remains shall be determined and notification provided to the City of Lompoc Community Development Department prior to occupancy permits.</p>	<p>Standard Timing Requirements</p> <p>In the event that unknown human remains are encountered during grading, a Human Remains Treatment Plan shall be prepared by a City-qualified archaeologist and most-likely Chumash descendant and funded by the applicant for review and approval by the City of Lompoc</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<p><b>Cultural Resources</b></p> <p><b>CR-2:</b> The pre-construction meeting shall include a presentation by a City-qualified archaeologist. Attendees shall include the applicant, construction supervisors and equipment operators to ensure that all parties understand the potential need for a Construction Treatment Plan and their respective roles and responsibilities. All construction personnel who would work during any phase of ground disturbance shall be required to attend the presentation.</p> <p>The presentation shall address the following: review the types of cultural resources that may be uncovered; provide examples of common archaeological artifacts and other cultural materials to examine; discuss what makes a cultural resource significant; identify what would temporarily stop construction and for how long; describe a reasonable worst-case resource discovery scenario (i.e., discovery of intact human remains); and describe reporting requirements and the responsibilities of the construction supervisor and crew. The meeting shall make attendees aware of prohibited activities, including unauthorized collecting of artifacts, which can result in impacts on cultural resources.</p>	<p>These components shall be noted on the preliminary and final grading and construction plans.</p> <p>The construction contractor shall provide the City of Lompoc with a list of all personnel who attend the workshop.</p> <p>The Community Development Department and Public Works Department Engineering Division shall attend the workshop and periodically visit the project site during construction.</p>	<p>Standard Timing Requirements.</p> <p>These measures shall be implemented prior to issuance of grading and building permits for each development phase.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Geology</b>		
<p><b>GEO-1a.1:</b> Clearing, grubbing, grading and construction activities on Plan Unit 1 (Land Use Area 1 and portions of Land Use Area 2 within Plan Unit 1) shall be completed in accordance with recommendations by Earth Systems Consultants (1998a, 1998b), or as amended by future geotechnical report conclusions prepared by a professional civil or geotechnical engineer and approved by the City of Lompoc, and development standards of the Burton Ranch Specific Plan. A complete list of recommendations is provided in Appendix F of the EIR, however, the following recommendations are directly associated with liquefaction and include:</p> <p>a. Intercept drains shall be installed north of the most northerly residential units in Land Use Area 3, 4 and 5 to prevent upslope surface water from seeping into near-surface soils that could enhance the potential for liquefaction. The drains shall extend into the dense Orcutt Formation sandstone. Additional drains shall be needed in other areas where major cuts are planned (e.g., in excess of 8 feet to 10 feet in height). The necessity for additional drains shall be evaluated during and subsequent to grading by a licensed geologist or soils engineer.</p> <p>b. Upper soils containing loose and/or saturated soils shall be removed and recompacted in accordance with an on-site licensed geologist or soils engineer recommendations. The depth of removal shall be determined during grading.</p> <p>c. All grading, clearing, grubbing and construction activities shall be completed in accordance with the most recently adopted California Building Code and local ordinances, which regulate grading, clearing, grubbing and construction in seismically active areas.</p>	<p>The applicant shall include the engineering specifications identified above or as amended by future geotechnical studies on the preliminary and final grading and construction plans for Plan Unit 1.</p> <p>A preliminary and final soils report and as-built geologic report documenting over excavation depths, cut and fill slope configurations and slope drains shall be prepared by a licensed geologist or soils engineer.</p> <p>The Public Works Department Engineering Division and Community Development Department shall spot check during grading and construction to ensure compliance with approved plans.</p>	<p>The preliminary soils report and as-built geologic report and preliminary grading plans shall be submitted with the tentative map and shall be reviewed by the Community Development Department, Public Works Department and Development Review Board prior to tentative map approval by the Planning Commission.</p> <p>The final soils report shall be reviewed and approved upon completion of grading; the final as-built geologic report shall be reviewed and approved prior to issuance of building permits.</p> <p>No clearing, grubbing or grading shall occur prior to City approval.</p>
<p><b>GEO-1a.2:</b> A site-specific geotechnical investigation shall be completed for Land Use Areas 2 through 5 (Plan Units 2 through 8) to precisely evaluate potential seismic hazards and determine appropriate standard engineering practices for residential buildout. Clearing, grubbing, grading, and construction activities shall be completed in accordance with the recommendations of this geotechnical report.</p>	<p>A preliminary and final site-specific geotechnical investigation shall be prepared by a state-licensed geologist or soils engineer. Recommendations contained in the investigation shall be noted on the preliminary and final grading and construction plans.</p> <p>The Public Works Department, Engineering Division shall field inspect during clearing, grubbing, grading, and construction activities to ensure compliance with approved plans.</p>	<p>Standard Timing Requirements</p> <p>No clearing, grubbing or grading shall occur on-site prior to City approval.</p>



<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<p align="center"><b>Geology</b></p> <p><b>GEO-1b.1:</b> Clearing, grubbing, grading, and construction activities on Plan Unit 1 (Land Use Area 1 and portions of Land Use Area 2 within Plan Unit 1) shall be completed in accordance with recommendations by Earth Systems Consultants (1998a, 1998b), or as amended by future geotechnical report conclusions prepared by a professional civil or geotechnical engineer and approved by the City of Lompoc, and development standards of the Burton Ranch Specific Plan. A complete list of recommendations is provided in Appendix F of the EIR, however, the following preliminary recommendations are directly associated with unstable slopes and include:</p> <ul style="list-style-type: none"> <li>a. Clearing, grubbing and grading activities shall be designed to avoid cuts above 4 feet in height from base grade to top-of-slope and fills</li> <li>b. Cut and fill slopes shall be no greater than 2:1 (horizontal to vertical) and should generally vary from 2:1 to 4:1. In retention basins, slopes shall be contoured and shall vary from 4:1 to 6:1 or flatter.</li> <li>c. Retaining walls shall be designed to be 4 feet high or less in common areas.</li> <li>d. Cut and fill slopes in common areas shall be hydro-seeded and landscaped with trees and shrubs as soon as practical after completion of grading. On private lots, slopes over 6 feet high shall be hydro-seeded on or before completion of construction of buildings on those lots.</li> <li>e. All slope grading shall be designed in accordance with the recommendations of a soils engineer.</li> </ul>	<p>The applicant shall include the engineering specifications identified above on the preliminary and final grading and construction plans for Plan Unit 1.</p> <p>A preliminary and final soils report and as-built geologic report documenting over excavation depths, cut and fill slope configurations and slope drains shall be prepared by a licensed geologist or soils engineer.</p> <p>The Public Works Department Engineering Division and Community Development Department shall spot check during grading construction to ensure compliance with approved plans.</p>	<p>Standard Timing Requirements</p> <p>The final soils report shall be reviewed and approved upon completion of grading; the final as-built geologic report shall be reviewed and approved prior to issuance of building permits.</p> <p>No clearing, grubbing or grading shall occur on-site prior to City approval</p>
<p><b>GEO-1b.2:</b> A site-specific geotechnical investigation shall be completed for Land Use Areas 2 through 5 (Plan Units 2 through 8) to precisely evaluate potential slope stability hazards and determine appropriate standard engineering practices for residential buildout. Grading, clearing, grubbing and construction activities shall be completed in accordance with the recommendations of this site-specific geotechnical report.</p>	<p>A preliminary and final site-specific geotechnical investigation shall be prepared by a state-licensed geologist or soils engineer. Recommendations contained in the investigation shall be noted on the preliminary and final grading and construction plans.</p> <p>The Public Works Department Engineering Division shall field inspect during clearing, grubbing, grading and construction activities to ensure compliance with the approved plans.</p>	<p>Standard Timing Requirements</p> <p>The final site-specific geotechnical investigation shall be approved by the Public Works Department prior to issuance of building permits.</p> <p>No clearing, grubbing or grading shall occur on-site prior to City approval.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<p align="center"><b>Geology</b></p> <p><b>GEO-2.1:</b> Clearing, grubbing, grading and construction activities on Plan Unit 1 (Land Use Area 1 and portions of Land Use Area 2 within Plan Unit 1) shall be completed in accordance with recommendations by Penfield &amp; Smith (2001) (See EIR Appendix E-2), Earth Systems Consultants (1998a, 1998b) (See EIR Appendix F), or as amended by future geotechnical report conclusions prepared by a professional civil or geotechnical engineer and approved by the City of Lompoc, and development standards of the Burton Ranch Specific Plan. A complete list of recommendations is provided in EIR Appendices E-2 and F; however, the following recommendations are directly associated with differential settlement and slope failure and include:</p> <ul style="list-style-type: none"> <li>a. Diversion of drainage away from the bluffs at Plan Unit 2 through the use of brow ditches and down drains; and</li> <li>b. Over excavation and recompaction of soils subject to differential settlement located beneath proposed structures.</li> </ul>	<p>The applicant shall include the engineering specifications identified above on the preliminary and final grading and construction plans for Plan Unit 1.</p> <p>A preliminary and final as-built geologic report documenting over excavation depths, cut and fill slope configurations and slope drains shall be prepared by a licensed geologist or soils engineer.</p> <p>The Public Works Department Engineering Division and Community Development Department shall spot check during grading and construction to ensure compliance with approved plans.</p>	<p>Standard Timing Requirements</p> <p>No clearing, grubbing or grading shall occur on-site prior to City approval.</p>
<p><b>GEO-2.2:</b> A preliminary and final site-specific geotechnical investigation shall be completed for Land Use Areas 2 through 5 (Plan Units 2 through 8) to evaluate potential slope stability and differential settlement hazards. Clearing, grubbing, grading and construction activities shall be completed in accordance with recommendations of the site-specific geotechnical report.</p>	<p>A preliminary and final site-specific geotechnical investigation shall be prepared by a state-licensed geologist or soils engineer. Recommendations contained in the investigation shall be noted on the preliminary and final grading and construction plans.</p> <p>The Public Works Department Engineering Division shall field inspect during clearing, grubbing, grading and construction activities to ensure compliance with the approved plans.</p>	<p>Standard Timing Requirements</p> <p>No clearing, grubbing or grading shall occur on-site prior to City approval.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<p align="center"><b>Hazards</b></p> <p><b>HAZ-1a:</b> A Storm Water Pollution Prevention Plan (SWPPP) and Notice of Intent (NOI) shall be completed prior to initiation of grading. The SWPPP shall include but not be limited to grading and erosion control, City of Lompoc Best Management Practices (BMP's), and hazardous materials BMP's and shall be designed to minimize water quality degradation through storm water monitoring, establishment of BMP's and implementation of spill prevention and containment measures. The SWPPP shall include but not be limited to the following:</p> <p>a. During construction, washing of concrete, paint or equipment shall occur only in areas where polluted water and materials can be contained for subsequent removal from the site. An area designated for washing functions shall be identified on the grading and drainage plans.</p> <p>b. Fueling shall be completed on impervious surfaces which are greater than 100 feet from established drainages or retention basins. Spill containment booms shall be available for potential spill containment.</p>	<p>The applicant shall prepare a preliminary and final SWPP by a City-qualified hydro-engineer that includes the specifications defined above.</p> <p>The City of Lompoc BMP's (See Final EIR Appendix E-3) shall be included in the project grading specifications and shall be incorporated as conditions for all contractors and subcontractors.</p> <p>The SWPPP shall be noted on the preliminary and final grading and construction plans.</p> <p>The Community Development Department, Public Works Department Engineering Division and Fire Department/Building and Fire Safety Division shall perform site inspections to verify compliance with the approved plans.</p>	<p>Standard Timing Requirements</p>
<p><b>HAZ-4.1:</b> A County FPS (CUPA) approved site assessment and soil sampling program shall be implemented on Plan Unit 1 and if necessary, soil and/or groundwater remediation. The results of the site assessment and soil sampling program shall be submitted to the City of Lompoc for review and approval. If contamination is found, a CUPA approved remediation plan shall be developed and implemented.</p>	<p>The applicant shall prepare a preliminary and final CUPA approved site assessment and soil sampling program for Plan Unit 1 by a City-qualified geologist and registered environmental assessor.</p> <p>The results of the assessment and soil sampling program shall be noted on the preliminary and final grading plans.</p> <p>The City Fire Department and/or SB County FPS and the City Community Development Department shall perform site inspections to verify compliance with all recommendations identified in the site assessment prior to issuance of grading permits.</p>	<p>Standard Timing Requirements</p> <p>If necessary, soil remediation and clean up per the requirements of DTSC must be completed prior to issuance of grading permits for this portion of the project site.</p> <p>No clearing, grubbing, and/or grading shall occur on-site prior to City approval.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<p align="center"><b>Hazards</b></p> <p><b>HAZ-4.2:</b> A County FPS (CUPA) approved site assessment and soil sampling program shall be implemented on Plan Unit 4 and if necessary, soil and/or groundwater remediation. The results of the site assessment and soil sampling program shall be submitted to the City of Lompoc for review and approval. If contamination is found, a CUPA approved remediation plan shall be developed and implemented. Borings shall be drilled in the vicinity of the former UST's and samples collected every 5 feet, to a minimum depth of 20 feet. Similarly, shallow (i.e., 1 to 5 feet) soil samples shall be collected in the vicinity of the former pump islands. Samples shall be analyzed for the presence of petroleum hydrocarbon concentrations. In the event that soil and/or groundwater are contaminated in excess of County FPS (CUPA) standards, soil remediation shall be completed to the satisfaction of that agency.</p>	<p>The applicant shall prepare a preliminary and final CUPA approved site assessment and soil sampling program for Plan Unit 4 by a City-qualified geologist and registered environmental assessor that includes the specifications listed above.</p> <p>The results of the assessment and soil sampling program shall be noted on the preliminary and final grading plans.</p> <p>The City Fire Department and/or SB County FPS and the City Community Development Department shall perform site inspections to verify compliance with all recommendations identified in the site assessment prior to issuance of grading permits.</p>	<p>Standard Timing Requirements</p> <p>If necessary, soil remediation and clean up per the requirements of DTSC shall be completed prior to issuance of grading permits for this portion of the project site.</p> <p>No clearing, grubbing, and/or grading shall occur on-site prior to City approval.</p>
<p><b>HAZ-4.3:</b> Upon development of Plan Unit 1 and Plan Unit 4, the responsible contractor for each area shall prepare a Hazardous Materials Construction Contingency Plan for Plan Unit 1 and Plan Unit 4 identifying the response requirements in the event that previously unidentified contaminated soil and/or groundwater is encountered during construction activities in this area. This contingency plan shall include but not be limited to provisions for encountering potentially contaminated soil in the vicinity of the former service station. The plan shall also include but not be limited to limiting access to the contaminated area to personnel properly trained in the handling of hazardous waste, treatment and/or disposal of contaminated waste and notification of appropriate regulatory agencies, including the City of Lompoc, DTSC, Santa Barbara County FPS, and Santa Barbara County Public Health Department.</p>	<p>The applicant shall submit the Plan for Plan Unit 1 and Plan Unit 4, prepared by a City-qualified, registered environmental assessor.</p> <p>The Plan shall be noted on the preliminary and final grading and construction plans.</p> <p>In the event that contaminated soil and/or groundwater is encountered during grading, grubbing or clearing, this construction activity shall be halted and the City Fire Department and/or SB County FPS shall perform site inspections to verify a clean closure from City CUPA prior to proceeding with grading or development.</p>	<p>Standard Timing Requirements</p> <p>No clearing, grubbing and/or grading shall occur on-site prior to City approval.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<p><b>Hydrology/Water Quality</b></p> <p><b>HYDRO/WQ-1:</b> Off-site peak storm flow (for 5-year through 100-year storm events) to the southwest of the subject site shall be reduced to below existing levels. Off-site storm flow shall be reduced in accordance with recommendations by Penfield &amp; Smith (2001) (EIR Figure 4.7-2). A complete list of recommendations is provided in Appendix E-2; however, the following recommendations are directly associated with runoff from impervious surfaces. These recommendations include incorporation of natural drainage Basins 1 and 2 into the project design; incorporation of partially natural drainage Basin 3 into the project design; construction of a new drainage basin; and construction of an additional culvert under State Highway 1. An encroachment permit shall be obtained from Caltrans prior to construction of the culvert under State Highway 1. All work completed in the State Highway 1 right-of-way shall be done to Caltrans engineering and environmental standards, and at no cost to the State.</p> <p>The detention basins shall incorporate relevant design criteria for vector prevention, including the minimization of ponding within the basin bottom, and the bottom design shall allow for removal of water by gravity or pumping for maintenance. All detention basins shall meet the requirements of City of Lompoc Engineering Bulletin #04-01, Detention Basin Design Criteria (Refer to Final EIR Appendix E-4).</p>	<p>The applicant shall include the Penfield &amp; Smith (2001) (see Final EIR Appendix E-2) engineering specifications on the preliminary and final grading plans and/or Public Improvement Plans.</p> <p>An upsizing of the storm drain under the highway and any improvements southwest of the roadway on city-owned Ken Adam Park property shall be reviewed and approved by Caltrans and the City of Lompoc Public Works Department.</p> <p>The Public Works Department Engineering Division and Community Development Department shall inspect the development in the field to ensure compliance with approved plans prior to occupancy permits.</p>	<p>Standard Timing Requirements</p> <p>An encroachment permit shall be obtained from Caltrans for construction of the culvert under State Highway 1 prior to issuance of grading permits for any phase of development.</p>
<p><b>HYDRO/WQ-2:</b> Project drainage improvements shall be completed in accordance with recommendations by Penfield &amp; Smith (2001) (see Appendix E-2, Figure 4.7-2). These recommendations include incorporation of existing natural drainage Basins 1, 2 and 3, as well as one new proposed basin, into the project design as detention basins. Each of these basins shall remain unpaved and preserved as open space, thus allowing stormwater runoff to percolate into the underlying groundwater.</p>	<p>The applicant shall include the Penfield &amp; Smith (2001) (see Final EIR Appendix E-2) engineering specifications on the preliminary and final grading plans and/or Public Improvement Plans.</p> <p>The Public Works Department Engineering Division and Community Development Department shall inspect the development in the field to ensure compliance with approved plans prior to occupancy permits.</p>	<p>Standard Timing Requirements</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<p><b>Hydrology/Water Quality</b></p> <p><b>HYDRO/WQ-3:</b> The applicant shall install pursuant to MHCS D specifications, and the overlap annexation agreement, an additional on-site groundwater well that can provide a total water supply equal to or greater than the maximum projected water demand of approximately 200 AFY, to be managed by the MHCS D.</p>	<p>The applicant shall prepare a well-drilling and pump test report as elements of the MHCS D Municipal Water Well Plan, consistent with specifications provided by MHCS D.</p> <p>The location of the well site and related equipment shall be shown on the tentative map.</p> <p>The requirement to provide well pump test data and engineering specifications demonstrating the successful construction of the well shall be noted as a condition on tentative maps and grading plans.</p> <p>The final MHCS D Municipal Water Well Plan shall include the well drilling and pump test report and water quality testing results, and identify the well location and all supporting infrastructure, including connection to the MHCS D water main on Harris Grade Road.</p> <p>MHCS D shall review and approve the MHCS D Municipal Water Well Plan, ensuring that installation of the groundwater well is in accordance with approved plans and other agency approval (State Water Resources Control Board &amp; Santa Barbara County Health Department) and provide verification of this approval to the City of Lompoc Community Development Department and Public Works Department prior to occupancy permits. MHCS D shall monitor the new well monthly to ensure that water production is static.</p>	<p>Standard Timing Requirements</p> <p>The Final MHCS D Municipal Water Well Plan shall be submitted with the final grading plan, Public Improvement Plan and Final Map.</p>
<p><b>HYDRO/WQ-4.1:</b> Consistent with MHCS D ordinances, funds shall be provided to MHCS D sufficient to provide retrofitting with 1.6 gallon/flush toilets for three existing homes within the boundaries of the MHCS D for each new home approved.</p>	<p>A final Water Conservation Retrofit Plan and Funding Agreement shall be prepared and submitted by the applicant to MHCS D consistent with District Ordinance.</p> <p>This requirement shall be noted as a condition on preliminary development plans and tentative plans.</p> <p>MHCS D shall submit a letter to the City of Lompoc Community Development Department verifying that all District ordinance funding requirements have been met prior to Final Map approval and/or issuance of building permits.</p>	<p>The Plan shall be submitted with the final development plan, Public Improvement Plan and Final Map.</p> <p>Prior to Final Map approval and issuance of building permits for each phase of development, MHCS D shall receive funding in increments sufficient to provide toilet retrofitting of existing homes to offset the water use of the number of new homes in each phase.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<p><b>Hydrology/Water Quality</b></p> <p><b>HYDRO/WQ-4.2:</b> Outdoor water use in all residential and common areas shall be limited through the measures listed below.</p> <p>a. Common space landscaping shall be with native/drought tolerant (xeriscape) species unless otherwise approved by the City of Lompoc Community Development Department.</p> <p>b. Drip irrigation or other water-conserving irrigation shall be installed in common space landscaped areas.</p> <p>c. Plant material shall be grouped by water needs.</p> <p>d. Turf shall constitute less than 20 percent of the total landscaped area</p> <p>e. No turf shall be allowed on slopes of over 10 percent</p> <p>f. Extensive mulching (2" minimum) shall be used in all landscaped areas to improve the water holding capacity of the soil by reducing evaporation and soil compaction.</p>	<p>A preliminary and final Landscape and Irrigation Plan shall be prepared by a City-qualified landscape architect that includes the specifications above.</p> <p>Any aspect of the plan requiring a plumbing permit shall be shown on the preliminary and final Public Improvement Plan or building plans.</p> <p>The applicant shall enter into an agreement with the City of Lompoc for installation of required landscaping/irrigation. The Plan shall be noted on the preliminary and final development plans.</p> <p>The Community Development Department shall field inspect to ensure installation and maintenance of landscape and irrigation prior to issuance of occupancy permits.</p>	<p>Standard Timing Requirements</p> <p>Landscaping to be maintained in perpetuity with the exception of any required performance and /or maintenance bonds.</p>
<p><b>HYDRO/WQ-4.3:</b> Indoor water use in all proposed homes shall be limited through the following water conservation measure</p> <p>a. All exposed hot water lines shall be insulated.</p> <p>b. Recalculating, point-of-use or on-demand water heaters shall be installed.</p>	<p>Indoor water- conserving measures shall be shown on all preliminary and final building plans.</p> <p>The Community Development Department and Fire Department/Building and Fire Safety Division shall perform site visits to verify satisfactory installation of indoor water-conserving measures prior to occupancy clearance for each lot.</p>	<p>Preliminary and final building plans shall be submitted to the City Fire Department/Building and Fire Safety Division for plan check.</p> <p>Final building plans shall be reviewed and approved prior to issuance of building permits for each development phase.</p>
<p><b>HYDRO/WQ-6.0:</b> Project drainage improvements shall be completed in accordance with the Preliminary Drainage Plan recommendations by Penfield &amp; Smith (2001) in the EIR. A complete list of recommendations is provided in EIR Appendix E-2, however, the following recommendations are directly associated with surface water quality and include:</p> <p>a. Areas immediately downstream of CMP culverts under State Highway 1 located on City of Lompoc property shall be armored with velocity reduction structures to prevent further scour and erosion.</p> <p>b. All drainages shall be directed away from the bluffs at the northwest boundary of the site.</p>	<p>The applicant shall prepare a final Drainage Improvement Plan based on the Penfield &amp; Smith (2001) Preliminary Drainage Plan recommendations.</p> <p>The requirement for all hydrological improvements and detailed drawings to be submitted with the final grading plan and/or Public Improvement Plan shall be noted as a condition on the tentative maps and preliminary grading plan.</p> <p>The Community Development Department and Public Works Engineering Division shall field inspect drainage improvements to ensure compliance with approved plans prior to occupancy permits.</p>	<p>Standard Timing Requirements</p> <p>The final Drainage Improvement Plan with all hydrological improvements and detailed drawings to be submitted with the final grading plan, Public Improvement Plan and Final Map.</p>



<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<p><b>Hydrology/Water Quality</b></p> <p><b>HYDRO/WQ-6.1:</b> The following measures are required to address erosion impacts at the site and shall be included in the SWPPP and on the Final Map Public Improvement Plans:</p> <p>a. Temporary berms and sedimentation traps, such as silt fencing, straw bales and sand bags, shall be installed in association with project grading to minimize erosion of soils and sedimentation in the storm drains. The sedimentation basins and traps shall be cleaned as needed periodically, and the silt shall be removed and disposed of in a location that shall not impact native habitat, as approved by the City of Lompoc Community Development Department and Public Works Department.</p> <p>b. The amount of exposed soils shall be limited during any given period of project development or mass grading. Nonpaved areas shall be revegetated or restored (i.e., geotextile binding fabrics) immediately after grading to minimize erosion and to reestablish soil structure and fertility. Slopes over 6 feet in height on private lots shall be hydro-seeded on or before completion of construction on those lots. Revegetation shall include drought-resistant, fast-growing vegetation that would quickly stabilize exposed ground surfaces.</p> <p>c. Runoff shall not be directed across exposed slopes. All surface runoff shall be conveyed in accordance with the approved site drainage plans.</p> <p>d. Grading shall not occur during the wet season (November 1-April 15) unless erosion control devices indicated in the SWPPP and acceptable to the City Public Works Department are implemented.</p> <p>e. Site grading shall be completed such that permanent drainage away from foundations and slabs is provided and so that water shall not pond near proposed structures or pavements. Individual lot grading shall be designed to minimize runoff.</p>	<p>The applicant shall include these engineering specifications on the SWPPP construction erosion control plan, which would be part of a National Pollution Discharge Elimination System (NPDES) General</p> <p>Stormwater Permit for small municipal separate storm sewer systems (MS4's).</p> <p>The requirement for the SWMPPP construction erosion control plan shall be noted as a condition on tentative maps and grading plans and/or Public Improvement Plans.</p> <p>The Community Development Department and Public Works Engineering Division shall field inspect the development during grading and construction activities to ensure compliance with approved plans.</p>	<p>SWPPP construction erosion control plan to be submitted with the final grading plan, Public Improvement Plan and Final Map.</p> <p>No clearing, grubbing and/or grading shall occur on-site without prior approval from the City of Lompoc.</p>
<p><b>HYDRO/WQ-6.2a:</b> Long-term surface runoff pollution containment and minimization shall be implemented to avoid off-site water quality impacts, consistent with City of Lompoc operational BMP's (see EIR Appendix E-3) for construction and a site-specific SWPPP. The Final Map Public Improvement Plans drainage plan shall include revegetation of detention areas and filters installed at inlets to detention basins to protect groundwater. The plan shall include specifications for the filters to be maintained in working order. A Homeowner's Association (HOA) shall regularly maintain on-site detention basins and storm water filters, as specified in the HOA's CC&amp;R's.</p>	<p>The applicant shall include these specifications on the Final Map Public Improvement Plans drainage plan and site-specific SWPPP for each phase of development.</p> <p>The requirement for site-specific SWPPP's for each phase of development shall be noted as a condition on the tentative maps and grading plans and/or Public Improvement Plans.</p> <p>The Community Development Department and Public Works Engineering Division shall field inspect the detention basins and storm water filters to ensure compliance with approved plans prior to occupancy permits.</p>	<p>Final site-specific SWPPP's to be submitted with the final grading plan, Public Improvement Plan and Parcel Map and/or Final Map for each phase of development.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Hydrology/Water Quality</b>		
<p><b>HYDRO/WQ-6.2b:</b> Pet waste pollution minimization shall be implemented in the vicinity of the proposed detention basins. An educational display/sign shall be installed and shall include information pertaining to pet waste and surface water pollution prevention. A Homeowner's Association (HOA) shall install and maintain pet waste plastic bag dispensers, as specified in the HOA's CC&amp;R's.</p>	<p>The applicant shall include these specifications on a final Detention Basin Signage Plan.</p> <p>The requirement for the Plan shall be noted as a condition on tentative maps and grading plans and/or Public Improvement Plans.</p> <p>The Community Development Department shall field inspect the development to ensure compliance with approved plans prior to issuance of occupancy permits</p>	<p>The Final Detention Basin Signage Plan to be submitted with the final grading plan, Public Improvement Plan, and Parcel Map and/or Final Map for each phase.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Land Use</b>		
Land Use		
<b>LU-3.1:</b> The following Notice of Airport in Vicinity declaration shall be included for all residential units within the Burton Ranch Specific Plan area: "This property is presently located in the vicinity of an airport, within what is known as the airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (i.e. noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you."	<p>The preliminary and final Notice shall be submitted to the City of Lompoc.</p> <p>The Notice shall be noted on the preliminary and final development plans.</p> <p>The Community Development Department and City Engineer shall ensure recordation of the buyer notification prior to the Final Map approval.</p>	<p>Standard Timing Requirements</p> <p>The final Notice shall be recorded concurrently with the Final Map.</p>
<b>LU-3.2:</b> The applicant shall enter into an aviation easement with the Lompoc Airport for all areas north of Burton Ranch Specific Plan Land Use Area 6 for the airspace associated with the Propeller Driven Departure Path as identified in the Santa Barbara County Airport Land Use Plan (SBCAG 1993).	<p>The preliminary and final easement shall be submitted to the City of Lompoc and the Lompoc Airport for review and approval.</p> <p>The easement shall be noted on the preliminary and final development plans.</p> <p>The Community Development Department and Public Works Department shall verify agreement between the applicant and Lompoc Airport and shall ensure recordation of the aviation easement prior to Final Map approval.</p>	<p>Standard Timing Requirements</p> <p>The final easement shall be recorded prior to the Final Map approval.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Noise</b>		
<b>NOISE-1a:</b> Heavy construction activity for site preparation and for future development shall be limited to the hours of 8 AM to 6 PM, Monday through Friday, and 9 AM and 6 PM on Saturdays. No construction shall occur on Sundays or State Holidays (e.g., Thanksgiving, Labor Day). Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities (e.g., interior painting) are not subject to these restrictions.	<p>Construction schedule indicating construction hours of operation to be submitted to City of Lompoc.</p> <p>Construction timing shall be indicated on the preliminary and final grading and construction plans.</p> <p>The Community Development Department and Fire Department/Building and Fire Safety Division and Public Works Inspector shall perform periodic site visits during construction to ensure compliance with construction timing.</p>	Standard Timing Requirements
<b>NOISE-1b:</b> Stationary construction equipment shall be located on-site such that emitted noise is directed away or shielded from sensitive noise receptors. A Noise evaluation of stationary sources shall be conducted, and recommendations shall be developed to address noise emitted from any stationary sources (i.e. drilling rigs). Appropriate measures (i.e. noise blankets) shall be used to ensure that point source noise impacts on adjacent parcels do not exceed City of Lompoc standards.	<p>Construction Staging Plan to be submitted to City of Lompoc indicating location of stationary equipment with appropriate acoustic shielding.</p> <p>The requirement for the Construction Staging Plan and noise evaluation recommendations shall be noted as a condition on tentative maps and preliminary grading plans and/or Public Improvement Plans.</p> <p>All on-site stationary construction equipment shall be located in accordance with the approved plan.</p> <p>The Community Development Department and Fire Department/Building and Fire Safety Division shall perform periodic site visits during construction to ensure compliance with approved plans.</p>	The Construction Staging Plan and noise evaluations shall be submitted with the final grading plan, Public Improvement Plan and Final Map.
<b>NOISE-1c:</b> All stationary and mobile construction equipment shall be equipped with the most modern and effective noise control devices (i.e., properly operating and maintained mufflers). All equipment shall be properly maintained to ensure that no additional noise due to worn or improperly maintained parts would be generated.	<p>This measure shall be noted on the Construction Staging Plan, preliminary and final grading plans and/ Public Improvement and construction plans.</p> <p>All stockpiling and vehicle staging areas shall be shown on the SWPPP.</p> <p>The Community Development Department and Fire Department/Building and Fire Safety Division shall perform periodic site visits during construction to ensure compliance with approved plans.</p>	Standard Timing Requirements

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Noise</b>		
<p><b>NOISE-1d:</b> Stockpiling and vehicle staging areas shall be located as far as practical from sensitive noise receptors. Every effort shall be made to create the greatest distance between noise sources and sensitive receptors during construction activities.</p>	<p>All stockpiling and vehicle staging areas shall be shown in the Construction Staging Plan and on final grading plans and/ or Public Improvement and construction plans.</p> <p>The requirement for the identification of stockpiling and vehicle staging areas shall be noted as a condition on tentative maps and grading plans.</p> <p>The Community Development Department and Fire Department/Building and Fire Safety Division shall perform periodic site visits during construction to ensure compliance with approved plans.</p>	<p>Standard Timing Requirements</p> <p>The Construction Staging Plan shall be submitted concurrently with the final grading plan, Public Improvement Plan and Final Map.</p>
<p><b>NOISE-1e:</b> A temporary solid barrier a minimum of 6-feet high such as plywood shall be constructed around the perimeter of the proposed water well drill and pump site that shall remain in place until all drilling and mechanical equipment activity has ceased.</p>	<p>The applicant shall prepare a Water Well Drilling and Construction Plan, including temporary solid barriers around the perimeter.</p> <p>The location of the barriers shall be shown on the final grading plans and/or the Public Improvement Plan.</p> <p>The Plan shall be noted as a condition on tentative maps and grading plans.</p> <p>MHCSD shall review and approve the final Water Well Drilling and Construction Plan, and shall provide written verification to the City Community Development Department.</p> <p>The Community Development Department shall perform periodic site visits during construction to ensure compliance with approved plans.</p>	<p>Standard Timing Requirements</p> <p>The Plan shall be submitted concurrently with the final grading plan, Public Improvement Plan and Final Map.</p>
<p><b>NOISE-1.1:</b> The applicant shall prepare a Municipal Water Well Enclosure Noise Attenuation Plan consistent with Mission Hills Community Services District specifications that shall demonstrate all well mechanical noise would be attenuated to less than the 60 dBA CNEL level.</p>	<p>The Plan shall include provisions for a solid cover as defined by MHCSD specifications.</p> <p>The requirements for the Plan shall be noted as a condition on tentative maps and grading plans.</p> <p>Detailed well noise specifications shall be shown on final grading plans and/or Public Improvement Plans.</p> <p>MHCSD shall review and approve the final Municipal Water Well Enclosure Noise Attenuation Plan and provide written verification to City Community Development Department</p> <p>The Community Development Department shall perform periodic site visits during construction to ensure compliance with approved plans.</p>	<p>The Plan shall be submitted concurrently with the final grading plan, Public Improvement Plan and Final Map.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Noise</b>		
<p><b>NOISE-2a:</b> Solid noise barriers (a perimeter wall or a combination berm and wall) shall be required for all noise sensitive development (e.g., residential and educational) proposed within 500 feet of State Highway 1 and 250 feet of Harris Grade Road. The height of the barrier would depend upon the location and height of the sensitive receptors as well as the location and height of the barrier.</p>	<p>A preliminary and final Noise Wall Plan shall be prepared by a city-qualified noise consultant. The Noise Wall Plan shall indicate the location and height of proposed noise barriers, adjacent proposed or existing residential unit exterior living areas and finished floor elevations and shall be shown on the preliminary and final grading and development plans.</p> <p>The Plan shall include noise attenuation evaluations for these residential lots adjacent to State Highway 1 and Harris Grade Road, verifying the adequacy of proposed sound wall attenuation.</p> <p>All proposed noise barriers shall be designed in accordance with the recommendations of the City-qualified noise consultant.</p> <p>Areas where topographical features (e.g., retention basin) prohibit use of a continuous wall shall be exempt from the Noise Wall Plan requirements.</p> <p>The Community Development Department and Fire Department/Building and Fire Safety Division shall perform a site inspection to ensure compliance with approved plans.</p>	<p>Standard Timing Requirements</p> <p>Solid noise barriers shall be maintained in perpetuity in accordance with approved plans.</p>
<p><b>NOISE-2b:</b> A city-qualified noise consultant shall submit noise attenuation evaluations for residential building plans within 300 feet of State Highway 1 and 185 feet of Harris Grade Road to determine the precise nature of any noise attenuating building materials such as solid core doors, and double-paned glass windows or other suitable noise-attenuating features required to ensure that interior noise levels, including second stories, do not exceed 45 dBA CNEL, consistent with the California Noise Insulation Standards (Title 24) and City of Lompoc standards.</p>	<p>A city-qualified noise consultant shall submit noise attenuation evaluations for residential building plans adjacent to State Highway 1 and Harris Grade Road.</p> <p>The noise attenuation evaluation plan requirement shall be noted on the preliminary and final building plans.</p> <p>The Burton Ranch Specific Plan shall be revised, if necessary, to include the noise attenuation specifications noted above.</p> <p>The Community Development Department and Fire Department/Building and Fire Safety Division shall perform site inspections to ensure satisfactory installation of noise attenuating materials prior to occupancy clearance for each lot.</p>	<p>Preliminary and final building plans shall be submitted to the City Fire Department/Building and Fire Safety Division for plan check.</p> <p>Final building plans shall be reviewed and approved prior to issuance of building permits for each development phase.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Public Services</b>		
<p><b>PS-2.1.1:</b> The applicant shall implement a financing program acceptable to City's Finance Director to create and ensure an adequate long-term revenue stream, to be used by City to mitigate the substantial and continuous deficit funding created by the project's demand for community standard levels of fire prevention and suppression. The required program shall be in a nature of a maintenance endowment fund, a trust fund for specific services, or an equivalent financing mechanism acceptable to City's Finance Director.</p>	<p>The financing program shall be prepared by applicant's legal counsel with expertise in crafting this mechanism in consultation with the City's Finance Director, City Attorney, Community Development Department and Fire Department.</p> <p>The financing program shall be noted as a requirement on tentative maps.</p> <p>The Community Development Department, City Attorney and Fire Department shall ensure receipt of funding prior to issuance of building permits for each development phase.</p>	<p>The financing program shall be reviewed and approved by the City of Lompoc prior to Parcel Map or Final Map approval.</p>
<p><b>PS-2.1.2:</b> A development fee of \$163 per single family dwelling unit and \$67 per multi-family unit, subject to change based on the Lompoc Impact Fee Study Report or as approved by the City Council, shall be paid to the City of Lompoc to provide funding for fire protection infrastructure (Reference Final EIR Appendix J).</p>	<p>The development fee shall be paid upon the issuance of any development permit or prior to final building inspection.</p> <p>The Community Development Department and/or Fire Department/Building and Fire Safety Division shall ensure the payment of required fees upon the issuance of any development permit or prior to final building inspection.</p>	<p>The development fee shall be paid upon the issuance of any development permit or prior to final building inspection.</p>
<p><b>PS-2.2.1:</b> The applicant shall prepare and implement a Burton Ranch Specific Plan Fire Protection Plan (FPP) that incorporates facilities and infrastructure into the design of the project to comply with Article 86 of the Uniform Fire Code (UFC), the Wildland Fire Code, and Fire Department Development Standards with respect to fire safety, including but not limited to the following:</p> <ul style="list-style-type: none"> <li>a. two or more access and evacuation routes;</li> <li>b. road and structure identification in plain view, consistent with Lompoc City Code Section 10-19 et seq.</li> <li>c. private roadway width sufficient to accommodate Fire Department vehicles;</li> <li>d. roadway grade and surface consistent with City Construction standards;</li> <li>e. defensible space and vegetation management;</li> <li>f. fire protection systems and equipment;</li> <li>g. hydrant spacing consistent with Fire Department standards; and</li> <li>h. water supply sufficient to maintain an adequate flow identified by current Insurance Service Organization requirements.</li> </ul>	<p>A preliminary and final FPP shall be prepared by a City-qualified fire management specialist.</p> <p>The FPP shall be noted on preliminary and final building and construction plans.</p> <p>The FPP may be amended at the discretion of the City of Lompoc Fire Department</p> <p>The Community Development Department and Fire Department/Building and Fire Safety Division shall field inspect the installation of facilities to ensure compliance with approved plans prior to issuance of occupancy permits for each development phase.</p>	<p>Standard Timing Requirement</p>



<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Public Services</b>		
<p><b>PS-2.2.2a:</b> The following structural construction components shall apply to all residential development in Land Use Areas, 3, 4, and 5:</p> <ul style="list-style-type: none"> <li>a. non-combustible roof coverings (Class A as defined by the UBC), siding and exterior walls;</li> <li>b. double-paned windows;</li> <li>c. enclosed overhangs for roofs, balconies and decks constructed with 1-hour fire-resistant construction materials; and</li> <li>d. spark arresters on chimneys.</li> </ul>	<p>These building components shall be depicted on the preliminary and final grading and construction plans.</p> <p>The Community Development Department and Fire Department/Building and Fire Safety Division shall field inspect the installation of components to ensure compliance with approved plans prior to issuance of occupancy permits for each development phase.</p>	<p>Plans to be submitted and reviewed and approved prior to issuance of building permits for Land Use Areas 3, 4 and 5.</p>
<p><b>PS-2.2.2b:</b> The applicant shall prepare a fire vegetation maintenance plan incorporating either Option 1 (including a, b, and c), 2 or 3:</p> <ul style="list-style-type: none"> <li>1a. A mosaic fuel break with a minimum 100-foot width from all residential and educational structures in lieu of a traditional fire break that shall be implemented as an interface between residential development and open space along Land Use Area 7 and the northern project boundary in Land Use Areas 4 and 5.</li> <li>1b. Within the mosaic fuel break, all flammable vegetation shall be removed within a minimum of 30-feet of structures.</li> <li>1c. Adjacent islands of native vegetation within 30 to 100 feet of structures shall be retained, surrounded by intervening low-flammable, drought-tolerant vegetation. The intervening planted areas shall be periodically irrigated, mowed, or cleared.</li> </ul> <p>2. Establish a 300-foot buffer area between project development and the BMER to ensure additional protection of the habitat and reduce the impact on Burton Mesa chaparral (see FEIR Figure 4.3-2). Alternative, to minimize the loss of Burton Mesa chaparral, the 300-foot buffer could be averaged across the northern boundary of the property (this would include the 100-foot minimum buffer at the northeast corner of the site, greater than the 100-foot buffers at the northern boundary, and all of the Land Use Area 7, as depicted in FEIR Figure 4.3-2).</p> <p>3. Construct an internal non-collector roadway parallel to and directly south of the solid wall (see FEIR Figure 4.3-3). The paved roadway would act as a firebreak that would minimize the amount of area requiring vegetation clearance and maintenance south of the wall.</p>	<p>Plan to be prepared by landscape architect in consultation with the City-approved fire management specialist.</p> <p>The requirement for this plan shall be noted as a condition on tentative maps and preliminary grading and/or Public Improvement Plans.</p> <p>The Community Development Department and Fire Department/Building and Fire Safety Division shall field inspect the installation of facilities and landscaping to ensure compliance with approved plans prior to issuance of occupancy permits for each development phase.</p>	<p>The Plan shall be submitted concurrently with the final grading plan, Public Improvement Plans and Final Map.</p> <p>All landscaping to be maintained in perpetuity, in accordance with approved plan.</p>

<p><b>PS-3:</b> A development fee of \$181 per single family dwelling unit and \$300 per multi-family unit, subject to change based on the Lompoc Impact Fee Study Report or as approved by the City Council, shall be paid to the City of Lompoc to provide funding for the police services infrastructure (Refer to Final EIR Appendix J).</p>	<p>The development fee shall be paid upon the issuance of any development permit or prior to final building inspection.</p> <p>The Community Development Department and/or Fire Department/Building and Fire Safety Division shall ensure the payment of required fees upon the issuance of any development permit or prior to final building inspection.</p>	<p>The development fee shall be paid upon the issuance of any development permit or prior to final building inspection.</p>
<p style="text-align: center;"><b>Mitigation Measure Public Services</b></p>	<p style="text-align: center;"><b>Requirements &amp; Monitoring</b></p>	<p style="text-align: center;"><b>Timing</b></p>
<p><b>PS-4:</b> The applicant shall implement a financing program acceptable to City's Finance Director to create and ensure an adequate long-term revenue stream, to be used by City to mitigate the substantial and continuous deficit funding created by the project's demand for community standard levels of police protection. The required program shall be in a nature of a maintenance endowment fund, a trust fund for specific services, or an equivalent financing mechanism acceptable to the City's Finance Director.</p>	<p>The financing program shall be prepared by applicant's legal counsel with expertise in crafting this mechanism in consultation with the City's Finance Director, City Attorney, Community Development Department and Police Department.</p> <p>The financing program shall be noted as a requirement on tentative maps.</p> <p>The Community Development Department, City Attorney and Police Department shall ensure receipt of funding prior to issuance of building permits for each development phase.</p>	<p>The financing program shall be reviewed and approved by the City of Lompoc prior to Parcel Map or Final Map approval.</p>
<p><b>PS-5.1:</b> The applicant shall pay statutory fees acceptable to LUSD as required, depending upon the outcome of the school site dedication.</p>	<p>Payment of statutory fees shall be made to LUSD prior to issuance of building permits for each development phase.</p> <p>The Community Development shall ensure the payment of required fees to LUSD prior to issuance of building permits for each development phase.</p>	<p>Payment of statutory fees shall be made to LUSD prior to issuance of building permits for each development phase.</p>
<p><b>PS-5.2:</b> The property owner shall offer to negotiate the transfer of a 12-acre elementary/middle school site in Land Use Area 5 to LUSD (by dedication or sale).</p>	<p>The school site shall be indicated on tentative maps in the event that an agreement is reached between the applicant and the Lompoc Unified School District to transfer property in Land Use Area 5 for the construction of a school.</p> <p>If an agreement is reached, the Community Development Department shall verify the transfer of property in Land Use Area 5 to the LUSD and ensure that the property, if accepted by LUSD, is shown as a school on the Parcel and/or Final map and development plans.</p>	<p>Standard Timing Requirements</p> <p>The school site shall be offered for negotiation concurrent with filing of the Tentative Map.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Public Services</b>		
<b>PS-6.1:</b> The applicant shall implement a financing program acceptable to City's Finance Director to create and ensure an adequate long-term revenue stream, to be used by City to mitigate the substantial and continuous deficit funding created by the project's demand for community standard levels of library services. The required program shall be in a nature of a maintenance endowment fund, a trust fund for specific services, or an equivalent financing mechanism acceptable to City's Finance Director.	<p>The financing program shall be prepared by applicant's legal counsel with expertise in crafting this mechanism in consultation with the City's Finance Director, City Attorney, Community Development Department and City Library.</p> <p>The financing program shall be noted as a requirement on tentative maps.</p> <p>The Community Development Department, City Attorney and City Library shall ensure receipt of funding prior to issuance of building permits for each development phase.</p>	The financing program shall be reviewed and approved by the City of Lompoc prior to Parcel Map or Final Map approval.
<b>PS-6.2:</b> A development fee of \$488 per single family dwelling unit and \$455 per multi-family unit, subject to change based on the Lompoc Impact Fee Study Report or as approved by the City Council, shall be paid to the City of Lompoc to provide funding for the Lompoc Library facility.	<p>The development fee shall be paid upon the issuance of any development permit or prior to final building inspection.</p> <p>The Community Development Department and/or Fire Department/Building and Fire Safety Division shall ensure the payment of required fees upon the issuance of any development permit or prior to final building inspection.</p>	The development fee shall be paid upon the issuance of any development permit or prior to final building inspection.
<b>Recreation</b>		
<b>REC-1:</b> A development fee of \$7,391.00 per single family dwelling unit and \$6,899.00 per multi-family unit, subject to change based on the Lompoc Impact Fee Study Report or as approved by the City Council, shall be paid to the City of Lompoc to offset costs of project population demand on park improvements, park land acquisition, and recreational centers.	<p>The development fee shall be paid upon the issuance of any development permit or prior to final building inspection.</p> <p>The Community Development Department and/or Fire Department/Building and Fire Safety Division shall ensure the payment of required fees upon the issuance of any development permit or prior to final building inspection.</p>	The development fee shall be paid upon the issuance of any development permit or prior to final building inspection.

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Transportation</b>		
<p><b>TRANS-1.1a:</b> The applicant shall comply with the City of Lompoc standards for Traffic Control and Public Safety provisions (see Final EIR Appendix H-2). The applicant shall apply for an Encroachment Permit with the County of Santa Barbara for all work proposed within the County right-of-way along Harris Grade Road.</p>	<p>The applicant shall submit a Traffic Control and Public Safety Plan, including all proposed roadwork, signing, striping and lighting, prepared and signed by a licensed traffic engineer.</p> <p>The requirement to prepare the plan shall be noted on the preliminary and final grading plans.</p> <p>The Community Development Department and Public Works Department Engineering Division shall inspect the construction activities in the field to ensure compliance with the approved plans and the Traffic Control and Public Safety Plan.</p>	<p>The Traffic Control and Public Safety Plan and final grading plans shall be submitted with the Parcel Map or Final Map and Public Improvement Plans.</p> <p>The Traffic Control and Public Safety Plan, final grading plans and final construction plans shall be submitted for review and approval prior to issuance of grading permits.</p> <p>The applicant shall apply for an encroachment permit with the County of SB prior to map recordation.</p>
<p><b>TRANS-1.1b:</b> Construction Roadway Maintenance Plan shall be prepared by the applicant to address potential conflicts with roadway circulation and pavement condition. The Plan shall include:</p> <ul style="list-style-type: none"> <li>a. Spillage resulting from hauling or ditching operations along or across any public traveled way shall be removed daily at the contractor's expense.</li> <li>b. Any spoils piles, bedding gravel, base material, etc. shall be placed as far out of the traveled way as possible and removed within 24 hours.</li> <li>c. All loads shall be covered.</li> <li>d. No material or equipment shall be stored where it would interfere with the free and safe passage of public traffic.</li> <li>e. The contractor shall remove all equipment and other obstructions from that portion of the roadway open for use by public traffic at the end of each day's work and at other times when construction operations are suspended for any reason.</li> <li>f. Watering of public roadways to inhibit dust generation shall be prohibited. Construction activities shall utilize low water use sweepers.</li> <li>g. The Construction Roadway Maintenance Plan shall be incorporated into the project Stormwater Pollution Prevention Plan</li> <li>h. The applicant shall apply for a haul permit from the County of Santa Barbara for the transport of earthwork along County roadways.</li> </ul>	<p>The applicant shall submit a preliminary and final Construction Roadway Maintenance Plan to the City of Lompoc indicating the location of storage areas for materials and equipment.</p> <p>The requirement to prepare the plan shall be noted on the preliminary and final grading and construction plans.</p> <p>The Community Development Department and Public Works Engineering Division shall field inspect the construction activities to ensure compliance with approved plans.</p>	<p>Standard Timing Requirements</p> <p>The applicant shall apply for a haul permit with the County of SB for transport of earthwork on County roadways prior to map recordation.</p>

<b>Mitigation Measure</b>	<b>Requirements &amp; Monitoring</b>	<b>Timing</b>
<b>Transportation</b>		
<p><b>TRANS-1.1c:</b> The applicant shall obtain an Encroachment Permit from Caltrans prior to any and all construction within the State Highway 1 right-of-way. All work completed in the State Highway 1 right-of-way shall be done to Caltrans engineering and environmental standards, and at no cost to the State. The applicant shall apply for an Encroachment Permit with the County of Santa Barbara for all work proposed within the County right-of-way along Harris Grade Road.</p>	<p>The Encroachment Permit requirements shall be noted on the preliminary and final grading plans.</p> <p>The Public Improvement Plans shall include all proposed roadwork, signing, striping and lighting.</p> <p>The Public Works/Roads Division shall field inspect during construction to ensure compliance with approved permits.</p>	<p>Standard Timing Requirements</p> <p>Encroachment Permits to be filed concurrently with or prior to submittal of the final grading and Public Improvement Plans.</p> <p>Encroachment Permit is required prior to approval of Final Map and Public Improvement Plans.</p>
<p><b>TRANS-1.2a:</b> State Highway 1 shall be improved adjacent to the project site in conjunction with the proposed development, as specified by the City of Lompoc and approved by Caltrans. These shall include the following at the State Highway 1/project site entrance intersection:</p> <ol style="list-style-type: none"> <li>Increase the amount of storage at the left-turn channelization for southbound traffic.</li> <li>Include right-turn channelization for traffic traveling northbound.</li> </ol> <p>Any improvements within the State Highway 1 right-of-way shall require an Encroachment Permit, which shall meet Caltrans requirements as set forth in the <i>Highway Design Manual</i> (Caltrans 2002b). The applicant shall coordinate with Caltrans and obtain an Encroachment Permit prior to initiating any improvements along State Highway 1. All work completed in the State Highway 1 right-of-way shall be done to Caltrans engineering and environmental standards, and at no cost to the State.</p>	<p>The applicant shall prepare a preliminary and final State Highway 1 Improvement Plan to be prepared and signed by a licensed civil engineer.</p> <p>The plan shall be noted on preliminary and final grading plans.</p> <p>The Community Development Department, Public Works Engineering Division and Caltrans shall field inspect the construction activities to ensure compliance with approved plans.</p>	<p>Standard Timing Requirements</p>
<p><b>TRANS-1.2b:</b> The project applicant shall be responsible for dedicating right-of-way and constructing improvements to Harris Grade Road adjacent to the project site, as specified by the City of Lompoc. These improvements shall include a 14-foot median lane, left turn lanes and sidewalk at all site access points on Harris Grade Road.</p>	<p>The applicant shall prepare a Preliminary and Final Harris Grade Road Improvement Plan to be prepared and signed by a licensed civil engineer.</p> <p>The plan shall be noted on preliminary and final grading plans.</p> <p>All dedications and improvements along Harris Grade Road shall be reviewed and approved by Santa Barbara County Public Works Department, Transportation Division staff prior to issuance of grading and building permits.</p> <p>The Community Development Department and Public Works Engineering Division shall field inspect the construction activities to ensure compliance with approved plans.</p>	<p>Standard Timing Requirements</p>

<b>Mitigation Measure</b> <b>Transportation</b>	<b>Requirements &amp; Monitoring</b>	<b>Timing</b>
<p><b>TRANS-1.2c:</b> The applicant shall construct the following improvements at the State Route 1/Harris Grade Road intersection prior to project occupancy:</p> <ul style="list-style-type: none"> <li>• Restripe the northbound approach (dual left-turn lanes, one through lane and a right-turn lane).</li> <li>• Provide traffic signal improvements to change the existing split phasing to protected left-turn phasing on the northbound and southbound approaches and to protected-permissive left-turn phasing on the eastbound and westbound approaches in conformance with the future operation assumed in the 2030 General Plan Update EIR.</li> <li>• A Caltrans Encroachment Permit shall be obtained for this work. All work completed in the State Highway 1 right-of-way shall be done to Caltrans engineering and environmental standards, and at no cost to the State. The applicant shall apply for an Encroachment Permit with the County of Santa Barbara for all work proposed within the County right-of-way along Harris Grade Road.<sup>3</sup></li> </ul>	<p>Applicant shall prepare a preliminary and final Harris Grade Road/Purisima Road Intersection Improvement Plan to be prepared and signed by a licensed civil engineer.</p> <p>The plan shall be noted on preliminary and final grading plans.</p> <p>Proof of receipt of a Caltrans Encroachment Permit shall be submitted with the Final Public Improvement Plans for review and approval by the City of Lompoc.</p> <p>The Community Development Department, Public Works Engineering Division and Caltrans shall field inspect the construction activities to ensure compliance with approved plans.</p>	<p>Standard Timing Requirements</p> <p>Proof of Receipt of an issued Caltrans Encroachment Permit needed prior to Final Map and Public Improvement Plan approval.</p> <p>Must submit for Encroachment Permit from County prior to map recordation.</p>
<p><b>TRANS-1.2d:</b> The applicant shall be responsible for contributing 50 percent of the costs for the design and construction of dual northbound and southbound left-turn lanes at the H Street/Central Avenue intersection. The new dual northbound and southbound left-turn lanes shall be 12-feet wide, consistent with HDM standards, and utilize existing Caltrans right-of-way along each side of H Street (State Highway 1) or from the median. All work completed in the State Highway 1 right-of-way shall be done to Caltrans engineering and environmental standards, and at no cost to the State.</p>	<p>The City shall retain a consultant to design and construct intersection improvements and Caltrans will review and approve plans.</p> <p>Applicant to pay 50% of design and construction costs (minus \$15,000 deposit).</p> <p>The Public Works Department shall verify receipt of the \$15,000 deposit and 50% of the cost of the design and construction of improvements.</p> <p>Caltrans review and approval of the H Street/Central Avenue Intersection Plan shall be provided to the Community Development Department.</p>	<p>The applicant shall deposit \$15,000 with the City of Lompoc at the time of the submittal of the first Public Improvement Plans.</p> <p>Balance to be paid at time of first dwelling unit building permit issuance.</p>

<sup>3</sup> Burton Ranch Specific Plan Amendment No. 2 adopted by City Council Ordinance No. 1607 (14) on August 19, 2014.

<b>Mitigation Measure</b>	<b>Requirements &amp; Monitoring</b>	<b>Timing</b>
<p align="center"><b>Transportation</b></p> <p><b>TRANS-1.2e:</b> The following improvements shall be required at off site key intersections to mitigate the impact of project related traffic and maintain an acceptable LOS upon General Plan buildout Year 2015. The applicant shall pay transportation fees to the City of Lompoc to mitigate the off-site impacts of project related traffic, based upon the level of service requirements specified by the City of Lompoc. The applicant shall contribute on a “fair share” basis to the intersection improvements as follows:</p> <p>a. Harris Grade Road/Purisima Road: add westbound left-turn lane. Project Share of Traffic Increase = 28.13%.</p> <p>b. “H Street/Central Avenue: add northbound right turn-lane. Project Share of Traffic Increase = 23.18%.</p> <p>c. Purisima Road/State Route 246: signalize intersection. Project Share of Traffic Increase = 17.62% (to be provided to Caltrans).</p>	<p>The applicant shall contribute "fair share" fee to the City of Lompoc to offset off-site transportation impacts (see FEIR Appendix H, Table 5-1). These funds shall be submitted to the City of Lompoc and Caltrans in accordance with intersection improvement cost estimates prepared by the City of Lompoc Public Works Department.</p> <p>The Community Development Department shall verify receipt of payment to Public Works Department Engineering Division and Caltrans.</p>	<p>Prior to building permit issuance</p>
<p><b>TRANS-1.2f:</b> A development fee of \$3,926 per single family dwelling unit and \$2,756 per multi-family unit, including traffic signal, street improvement, and bikeway impact fees, subject to change based on the Lompoc Impact Fee Study Report, or as approved by the City Council, shall be paid to the City of Lompoc to provide funding for street improvements, installing traffic signals of region-wide benefit, and bikeways (See Final EIR Appendix J).</p>	<p>The development fee shall be paid upon the issuance of any development permit or prior to final building inspection.</p> <p>The Community Development Department and/or Fire Department/Building and Fire Safety Division shall ensure the payment of required fees upon the issuance of any development permit or prior to final building inspection.</p>	<p>The development fee shall be paid upon the issuance of any development permit or prior to final building inspection.</p>
<p><b>TRANS-1.2g:</b> The applicant shall install bus stops along project frontages consistent with City of Lompoc Public Works Department standards as required by the Public Works Department during the development review process for each development phase.</p>	<p>The applicant shall revise the Burton Ranch Specific Plan Circulation and Infrastructure Plan to provide for Harris Grade Road public transit access improvements</p> <p>The revised plan shall be noted on preliminary and final grading plans.</p> <p>The Community Development Department and Public Works Engineering Division shall field inspect the construction activities to ensure compliance with approved plans.</p>	<p>Standard Timing Requirements</p> <p>Installation of Harris Grade Road public transit access facility improvements shall occur prior to occupancy.</p>
<p><b>TRANS-1.4a:</b> The applicant shall provide and maintain adequate sight distances at all site access points on Harris Grade Road and at all internal intersections.</p>	<p>The applicant shall revise the Burton Ranch Specific Plan Circulation and Infrastructure Plan to specify how sight distances shall be provided and maintained at all site access points on Harris Grade Road and at all internal intersections.</p> <p>The revised plan shall be noted on preliminary and final grading plans.</p> <p>The Community Development Department and Public Works Engineering Division shall field inspect the construction activities to ensure compliance with approved plans.</p>	<p>Standard Timing Requirements</p> <p>The revised Circulation and Infrastructure Plan shall be submitted with tentative maps.</p>



<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Transportation</b>		
<b>TRANS-1.4b:</b> The applicant shall install two-way on-site stop signs at the proposed access points onto Harris Grade Road to control site traffic exiting via Street B, Street C and Street D.	<p>The applicant shall revise the Burton Ranch Specific Plan Circulation and Infrastructure Plan to indicate the location of the onsite stop signs, and if a school is constructed, a signal at Street C or D at the proposed access points onto Harris Grade Road, with final location of the traffic signal to be based on school site design in consultation with LUSD.</p> <p>The revised plan shall be noted on preliminary and final grading plans.</p> <p>The Community Development Department and Public Works Engineering Division shall field inspect the construction activities to ensure compliance with approved plans.</p>	<p>Standard Timing Requirements</p> <p>The revised Circulation and Infrastructure Plan shall be submitted with tentative maps.</p>
<b>TRANS-1.4c:</b> The site access at the Harris Grade Road/Street B and Street C intersections shall include northbound and southbound left-turn lanes on Harris Grade Road within a 14-foot median.	<p>The applicant shall revise the Burton Ranch Specific Plan Circulation and Infrastructure Plan to indicate the location of the northbound and southbound left-turn lane on Harris Grade Road.</p> <p>The revised plan shall be noted on preliminary and final grading plans.</p> <p>The Community Development Department and Public Works Engineering Division shall field inspect the construction activities to ensure compliance with approved plans.</p>	<p>Standard Timing Requirements</p> <p>The revised Circulation and Infrastructure Plan shall be submitted with tentative maps.</p>
<b>TRANS-1.4d:</b> The site access at the Harris Grade Road/Street D intersection shall include a northbound left-turn lane on Harris Grade Road within a 14-foot median.	<p>The applicant shall revise the Burton Ranch Specific Plan Circulation and Infrastructure Plan to indicate the location of the northbound left-turn lane on Harris Grade Road.</p> <p>The revised plan shall be noted on preliminary and final grading plans.</p> <p>The Community Development Department and Public Works Engineering Division shall field inspect the construction activities to ensure compliance with approved plans.</p>	<p>Standard Timing Requirements</p> <p>The revised Circulation and Infrastructure Plan shall be submitted with tentative maps.</p>
<b>TRANS-1.4e:</b> Direct access to Street A on-site shall be located no closer than 300 feet north of the intersection of State Highway 1 to avoid having the access blocked by the 95th percentile queue of southbound vehicles exiting the project site (which is projected to extend 225 feet north of State Highway 1).	<p>The applicant shall revise the Burton Ranch Specific Plan Circulation and Infrastructure Plan to indicate the direct access point to Street A.</p> <p>The revised plan shall be noted on preliminary and final grading plans.</p> <p>The Community Development Department and Public Works Engineering Division shall field inspect the construction activities to ensure compliance with approved plans.</p>	<p>Standard Timing Requirements</p> <p>The revised Circulation and Infrastructure Plan shall be submitted with tentative maps.</p>

<i>Mitigation Measure</i> <b>Transportation</b>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<p><b>TRANS-3.1:</b> All project site internal street design, including roundabouts and sidewalk widths, shall be designed according to standards deemed acceptable by the City of Lompoc. All collector roads shall be dedicated to the City. Residential and private drives shall be maintained by the homeowner's association or other special assessment district.</p> <p>The applicant shall prepare a public education program to instruct the public on safe driving instructions in roundabouts. At a minimum, the program shall include three panel brochures on gloss 8.5" x 11" paper (front and back) and a video produced onsite using the project roundabouts. The brochure and video shall be given to all new homeowners. An original and 1,000 copies of the brochure shall be provided to the City of Lompoc for distribution at City Hall. The video shall be provided to the City of Lompoc in electronic format for distribution on the City website.</p>	<p>Revised project site internal street design specifications, including roundabouts and sidewalk widths and the roundabout public education program, shall be included in Burton Ranch's Circulation and Infrastructure Plan.</p> <p>The applicant shall deposit \$5,000 for the City to obtain a consultant with experience in roundabout design to peer review proposed non-standard street designs.</p> <p>The revised plan shall be noted on preliminary and final grading plans and Public Improvement Plan.</p> <p>The draft Roundabout Education Program shall be reviewed and approved by the Public Works Dept. Engineering Division.</p> <p>The Community Development Department and Public Works Engineering Division shall field inspect the construction activities to ensure compliance with approved plans.</p>	<p>Standard Timing Requirements</p> <p>The revised preliminary Circulation and Infrastructure Plan and \$5,000 deposit shall be submitted with tentative maps.</p>
<p><b>TRANS-3.2a:</b> In the event that an agreement is reached between the applicant and the Lompoc Unified School District to transfer property in Land Use Area 5 for the construction of a school, the pavement width proposed for Street D shall be sufficient to allow parking and bike lanes on both sides of the street to accommodate peak parking demands associated with inclement weather and special events that involve a substantial number of parents parking at or near the school and walking across Street D. In addition, street lighting and pedestrian crosswalk locations along Street D shall be provided that take on-street school parking into account. In the event that an agreement is reached between the applicant and the Lompoc Unified School District but the school is not built by residential project buildout, the applicant shall provide funds sufficient to complete these improvements.</p>	<p>The applicant shall revise the Burton Ranch Specific Plan Circulation and Infrastructure Plan to indicate the pavement width proposed for Street D and bike lanes on both sides of the street in the event that an agreement is reached to transfer property in LUA 5 for the construction of a school.</p> <p>The revised plan shall be noted on preliminary and final grading plans.</p> <p>The Community Development Department and Public Works Engineering Division shall field inspect the construction activities to ensure compliance with approved plans.</p>	<p>Standard Timing Requirement</p> <p>The revised Circulation and Infrastructure Plan shall be submitted with tentative maps.</p>
<p><b>TRANS-3.2b:</b> The project proponent shall provide sufficient off-street parking on-site to meet the requirements of the City of Lompoc, particularly at the school site and the Land Use Area 1 attached multi-family residential units.</p>	<p>The applicant shall revise the Burton Ranch Specific Plan Circulation and Infrastructure Plan to indicate the locations of off-street parking.</p> <p>The revised plan shall be noted on preliminary and final grading plans.</p> <p>The Community Development Department and Public Works Engineering Division shall field inspect the construction activities to ensure compliance with approved plans.</p>	<p>Standard Timing Requirement</p> <p>The revised Circulation and Infrastructure Plan shall be submitted with tentative maps.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<p align="center"><b>Transportation</b></p> <p><b>TRANS-3.2c:</b> All roundabout designs shall be subject to the review and approval of the City Fire Department and City Public Works Department to insure that the roundabout is consistent with City of Lompoc design criteria and that school buses and emergency vehicles can negotiate the turns required with the radius proposed. In the event that an agreement is reached between the applicant and the Lompoc Unified School District to transfer property in Land Use Area 5 for the construction of a school, all roundabout designs shall be subject to the review and approval of the Lompoc Unified School District.</p>	<p>The applicant shall revise the Burton Ranch Specific Plan Circulation and Infrastructure Plan roundabout design criteria.</p> <p>The revised plan shall be noted on preliminary and final grading plans.</p> <p>The Community Development Department and Public Works Engineering Division shall field inspect the construction activities to ensure compliance with approved plans</p>	<p>Standard Timing Requirement</p> <p>The revised Circulation and Infrastructure Plan shall be submitted with tentative maps.</p> <p>In the event that an agreement is reached between the applicant and the LUSD, the Circulation and Infrastructure Plan shall be reviewed by the LUSD prior to approval by the City Council.</p>
<p><b>TRANS-3.2d:</b> In the event that an agreement is reached between the applicant and the Lompoc Unified School District to transfer property in Land Use Area 5 for the construction of a school, the Street C or D/Harris Grade Road intersection access shall be signalized. In the event that an agreement is reached between the applicant and the LUSD but the school is not built by residential project buildout, the applicant shall provide funds sufficient to complete these improvements.</p>	<p>The applicant shall revise the Burton Ranch Specific Plan Circulation and Infrastructure Plan to indicate the location of the on-site stop signs and the location of a signal at Street “C” or “D” at the proposed access points onto Harris Grade Road.</p> <p>The revised plan shall be noted on preliminary and final grading plans.</p> <p>The applicant shall submit necessary funds to the City for future signalization</p> <p>The City Public Works, Engineering Division shall verify receipt of payment necessary of funds for future Street “C” or “D” Harris Grade Road intersection signalization.</p>	<p>Standard Timing Requirement</p> <p>Payment of funds shall be verified prior to issuance of the first building permit for any dwelling unit.</p>
<p><b>TRANS-3.3:</b> The applicant shall provide for the following pedestrian and bicycle traffic improvements consistent with City of Lompoc Public Works Department standards:</p> <p><b>Harris Grade Road:</b></p> <ul style="list-style-type: none"> <li>a. A sidewalk or paved trail along the entire west side of Harris Grade Road project site frontage to the Street D intersection.</li> <li>b. Improvements at the Harris Grade Road/State Highway 1 intersection to provide for safe pedestrian crossing from the southeast intersection corner to the northwest intersection corner.</li> <li>c. A Class II bike lane along the western side of Harris Grade Road pursuant to the General Plan Circulation Element. S.H. 1 and</li> </ul> <p><b>S.H. 1 and S.H. 1/Purisima Road Intersection:</b></p> <ul style="list-style-type: none"> <li>d. Extend the existing bike lane on northbound S.H. 1 through the S.H. 1/Purisima Road Intersection, connecting with a new pedestrian/bicycle crosswalk north across Purisima Road, and connecting to a new pedestrian/ bicycle crosswalk spanning Harris Grade Road. All work completed in the State Highway 1 right-of-way shall be done to Caltrans engineering and environmental standards, and at no cost to the State.</li> </ul>	<p>The applicant shall revise the Burton Ranch Specific Plan Circulation and Infrastructure Plan to provide for these improvements.</p> <p>The revised plan shall be noted on preliminary and final grading plans.</p> <p>The Community Development Department and Public Works Engineering Division shall field inspect the construction activities to ensure compliance with approved plans</p>	<p>Standard Timing Requirement</p> <p>The revised Circulation and Infrastructure Plan shall be submitted with tentative maps.</p>

<i>Mitigation Measure</i>	<i>Requirements &amp; Monitoring</i>	<i>Timing</i>
<b>Utilities</b>		
<p><b>UTIL-1.1.1:</b> As part of a Development Agreement entered into with the Mission Hills Community Services District, the applicant shall prepare a plan for the water distribution system, delineating on- and off-site improvements that would be required to effectively provide water service to the site and demonstrating that the proposed water system meets applicable quality and pressure standards.</p>	<p>A Water Distribution System Plan shall be prepared and the requirement for the plan shall be noted on tentative maps.</p> <p>The location of water infrastructure shall be indicated on final grading plans and/or Public Improvement Plans.</p> <p>The Plan shall be noted as a condition on tentative maps and grading plans.</p> <p>On-site water infrastructure shall be inspected by the Community Development Department and MHCSD for conformance with approved plans.</p>	<p>The Plan shall be submitted with the final grading plan, Public Improvement Plan and Final Map.</p>
<p><b>UTIL-4.1a:</b> Demolition and/or excess construction materials shall be recycled where applicable (i.e., wood, cardboard, concrete, and asphalt). The applicant shall submit a Construction and Demolition Waste Management Plan.</p>	<p>The requirement for a Construction and Demolition Waste Management Plan shall be noted as a condition on tentative maps and preliminary grading plans.</p> <p>The Community Development Department, Public Works Department and city Solid Waste Superintendent shall review the Construction and Demolition Waste Management Plan, preliminary and final grading plans, final construction plans, tentative maps, Parcel Map and/or Final Map and Public Improvement Plans to ensure the recycling specifications are noted on approved plans.</p> <p>Recycled materials and reuse methods shall be specified on final construction and grading plans.</p>	<p>The Plan shall be submitted with the final grading plan, Public Improvement Plan and Final Map.</p> <p>The Construction and Demolition Waste Management Plan shall be approved by the City Solid Waste Superintendent prior to clearing, grubbing or issuance of grading permits for each development phase.</p> <p>Materials shall be recycled as necessary throughout construction and shall be recycled prior to occupancy of each development phase.</p>
<p><b>UTIL-4.1b:</b> Chippers shall be used on-site to reduce excess woody material to mulch. The resulting mulch shall be used on-site or elsewhere, but shall not be taken to the City of Lompoc landfill.</p>	<p>The Construction and Demolition Waste Management Plan shall indicate the amounts and types of recycled materials to be used in project construction.</p> <p>The requirement for a Construction and Demolition Waste Management Plan shall be noted as a condition on tentative maps and preliminary grading plans.</p> <p>Recycled materials and reuse methods shall be specified on final construction and grading plans.</p> <p>The Community Development Department and Public Works Department, Engineering Division shall periodically inspect in the field for compliance.</p>	<p>The Plan shall be submitted with the final grading plan, Public Improvement Plan and Final Map.</p> <p>The Construction and Demolition Waste Management Plan shall be approved by the City Solid Waste Superintendent prior to clearing, grubbing or issuance of grading permits for each development phase.</p>

**RESOLUTION NO. 5303 (06)**

**A Resolution Of The Council Of The City Of Lompoc,  
County Of Santa Barbara, State Of California  
Adopting Specified Sections Of The Burton Ranch Specific Plan For Assessor's  
Parcel Numbers 97-250-002, 97-250-005, 97-250-006, 97-250-013, 97-250-039, 97-  
250-040, 97-250-050, 97-250-051, 97-250-062, 97-250-069, And 97-250-070)  
(Planning Division File No. SP 04-01)**

**WHEREAS**, a request was received from Martin Farrell Homes, Inc. and The Towbes Group, Inc. for the City of Lompoc consideration of a proposal for the Burton Ranch Specific Plan project as described in EIR 02-01 and located immediately northeast of the intersections of State Highway 1, Harris Grade Road, and Purisima Road. The request is for the purposes of considering adoption of the Burton Ranch Specific Plan; and

**WHEREAS**, the Burton Ranch Specific Plan was prepared in accordance with the statutory requirements of the California Government Code (Sections 65450 through 65457); and

**WHEREAS**, an Environmental Impact Report (EIR 02-01) (SCH No. 2002091045) has been prepared and revised by Science Applications International Corporation (SAIC) in conformance with the California Environmental Quality Act (CEQA), its Guidelines, and the Environmental Guidelines of the City of Lompoc to study the environmental impacts of the proposed Project; and

**WHEREAS**, the Burton Ranch Specific Plan Revised Final Environmental Impact Report EIR 02-01 List of Revisions (Revised FEIR List of Revisions) was prepared by SAIC; and

**WHEREAS**, the EIR reflects the City of Lompoc's independent judgment and analysis; and

**WHEREAS**, the Project was considered by the Planning Commission at a duly-noticed public meeting on December 12, 2005 and the Commission adopted Resolution No. 456 (05) recommending that the City Council certify the Revised Final Environmental Impact Report for the Burton Ranch Specific Plan project (EIR 02-01), including the Burton Ranch Specific Plan Revised Final Environmental Impact Report EIR 02-01 List of Revisions (Revised FEIR List of Revisions).

**NOW, THEREFORE, THE CITY COUNCIL RESOLVES AS FOLLOWS:**

**SECTION 1:** After hearing testimony, considering the evidence presented, and duly deliberating the matters presented, the City Council finds that:

- A. The Burton Ranch Specific Plan was prepared in accordance with the statutory requirements of the California Government Code (Sections 65450 through 65457).
- B. The proposed Burton Ranch Specific Plan reflects the proposed development in the Wye vicinity.
- C. The Burton Ranch Specific Plan is consistent with the goals and policies of the City of Lompoc's General Plan.

*[Faint, illegible text, possibly a signature or stamp]*

D. The Burton Ranch Specific Plan provides for the comprehensive and orderly development of approximately 149 acres of territory proposed for annexation to the City of Lompoc as shown on Exhibit A, attached.

**SECTION 2:** The City Council adopted the Burton Ranch Specific Plan Sections related to policy matters (dated October 2005), SP 04-01, as amended by the *List of Recommended Revisions to the Burton Ranch Specific Plan* dated December 12, 2005, (Exhibit B), including all Conditions of Approval (Exhibit C), for the project on February 7, 2006: I (The Burton Ranch Specific Plan), II (History of the Burton Ranch and Surrounds), III (Environmental Resources & Conservation), IV (The Land Use Plan), X (Consistency with City of Lompoc General Plan), and XI (Mitigation Measures).

**SECTION 3:** This Resolution is effective upon its adoption.

The above and foregoing Resolution, proposed by Councilmember Siminski, seconded by Councilmember Holmdahl, and duly passed and adopted by the Council of the City of Lompoc at its regular meeting of February 7, 2006, by the following electronic vote:

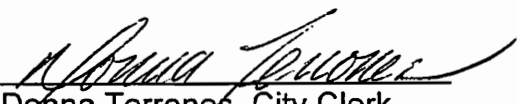
**AYES:** Councilmember(s): DeWayne Holmdahl, Janice Keller, Will Schuyler, Michael Siminski, and Mayor Dick DeWees.

**NOES:** Councilmember(s): None

**ABSENT:** Councilmember(s): None

  
\_\_\_\_\_  
Dick DeWees, Mayor  
City of Lompoc

ATTEST:

  
\_\_\_\_\_  
Donna Terrones, City Clerk  
City of Lompoc

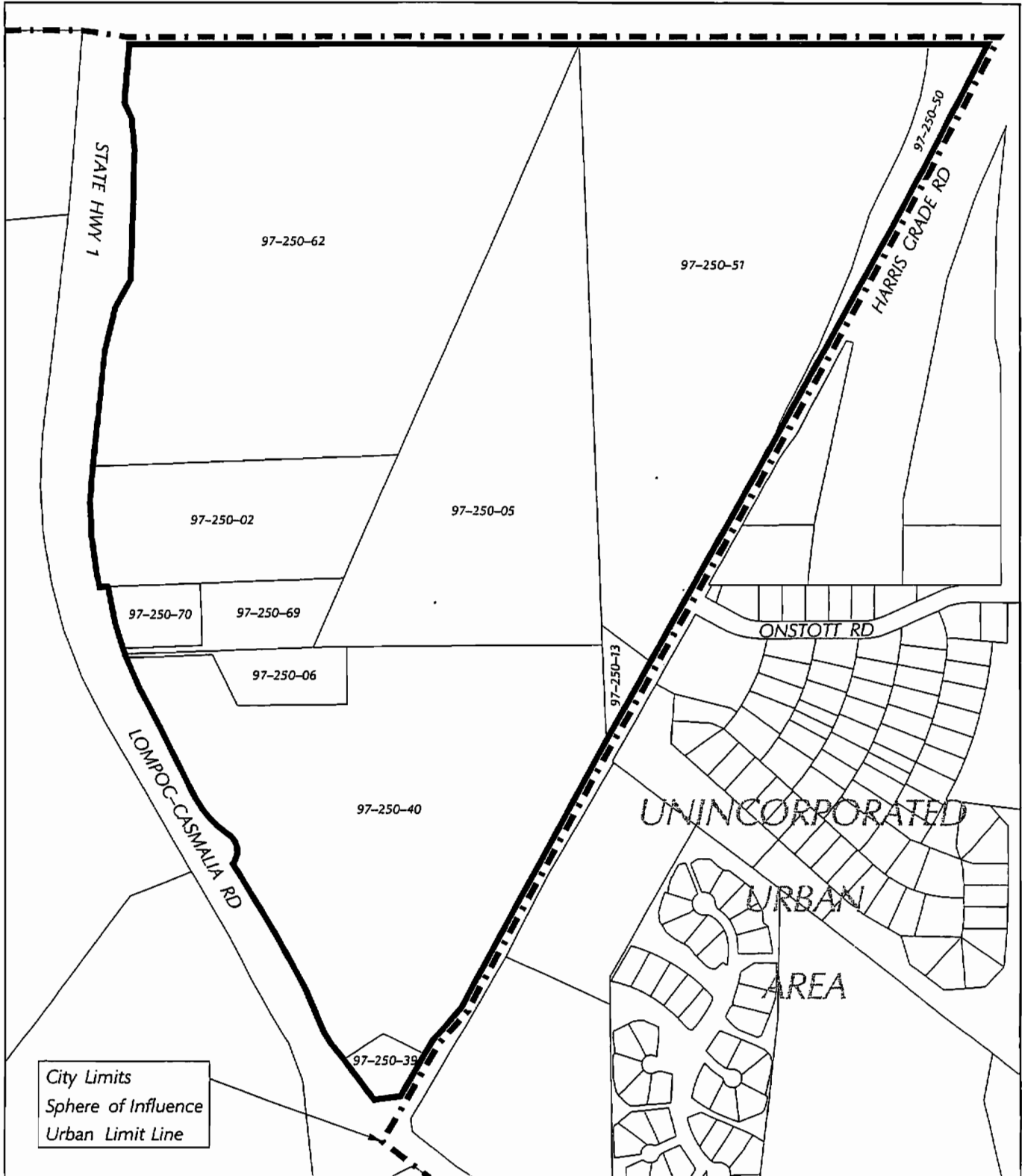
Attachments: Exhibit A – Annexation Map  
Exhibit B – *List of Recommended Revisions to the Burton Ranch Specific Plan* dated February 7, 2006  
Exhibit C – Conditions of Approval

**I HEREBY CERTIFY THAT THE**

**foregoing instrument is a true and correct copy of the original on file in the Lompoc City Clerk's Department.**

ATTEST: 

# ANNEXATION (PROPOSED)





# EXHIBIT B

<b>LIST OF RECOMMENDED REVISIONS TO THE BURTON RANCH SPECIFIC PLAN (SPECIFIC PLAN DATED OCTOBER 2005)</b>	
TABLE OF CONTENTS, VIII. ARCHITECTURAL & SITE DESIGN STANDARDS, Site Amenities	Add <i>Mailboxes</i> on page 60 after <i>Sound Walls and Landscaped Perimeter Buffers</i>  Reference page 60 of the Burton Ranch Specific Plan
LIST OF FIGURES & TABLES	Insert Figure 33 into the List of Figures & Tables – Drainage Improvements, page 63
LIST OF FIGURES & TABLES, Figure 33 – Example of Well-Executed Massing, page 66	Change to Figure 34 (Drainage Improvements are Figure 33)
LIST OF FIGURES & TABLES, Figure 34 – Example of Desirable Exterior Details, page 66	Change to Figure 35
LIST OF FIGURES & TABLES, Figure 35 – Acceptable Garage Integration, page 67	Change to Figure 36
LIST OF FIGURES & TABLES, Figure 36 – Unacceptable Garage Integration, page 67	Change to Figure 37
LIST OF FIGURES & TABLES, Figure 37 – Acceptable Garage Integration, page 67	Change to Figure 38
RES – 1, page 15	<p>Following the first paragraph, add the following language: For specific mitigation requirements and details for the Purisima mitigation site (Unocal site), please refer to the Burton Ranch Specific Plan Revised Final Environmental Impact Report, EIR 02-01, mitigation measure BIO-1.2 on page 4.3-36 (currently shown as BIO-1.1d in the Revised FEIR but renumbered to BIO-1.2 per the Burton Ranch Specific Plan Revised Final Environmental Impact Report EIR 02-01 List of Revisions) and mitigation measures BIO-3.2a through BIO-3.2f on pages 4.3-54 through 4.3-56.</p> <p>Reason for revision: Standard RES – 1 summarizes the requirements specified in the mitigation measures. However, the mitigation measures as they are written in the Revised FEIR contain important requirements and details should the off-site Purisima property be acquired and utilized for mitigating impacts to Burton Mesa chaparral and oak savanna on the Burton Ranch Specific Plan property. Any user of the Burton Ranch Specific Plan should be directed to the source of the mitigation measures to view them in detail in order to ensure full compliance.</p>
Resource Conservation Development Standards, page 15	<p>A new RES Development Standard may be added that states the following: The Revised FEIR has identified mitigation measures that would reduce impacts to native habitats resulting from future residential development of the Purisima site (refer to the Burton Ranch Specific Plan Revised Final Environmental Impact Report, EIR 02-01, BIO 3.2a-f, pages 4.3-54 through 4.3-56, for full details). Although these mitigation measures are recommended for preservation of the Purisima mitigation site habitats outside of the residential development envelope, it should be noted that these measures are subject to review by the agency accepting management responsibility for the open space easement. The mitigation measures may be modified and/or refined to accommodate the requirements of the agency assuming management responsibility for the Purisima mitigation site.</p>
RES – 2, page 15, 2 <sup>nd</sup> sentence: Mitigation site habitat acreage in excess of the 56 acres necessary for Plan Units 1 and 2 may be sold to the owners of the other Plan Units to address Specific Plan buildout impacts in these areas.	<p>Revise to read: Mitigation site habitat acreage in excess of the <del>56</del> <b>79</b> acres necessary for Plan Units 1 and 2 (<del>excess of 9 acres</del>) may be sold to the owners of the other Plan Units to address Specific Plan buildout impacts in these areas.</p> <p>Supporting Documentation: Revised FEIR, page 4.3-33, 3<sup>rd</sup> paragraph, and page 4.3-35, Table 4.3-5</p>
RES – 3, page 15: A minimum 100-foot BMER buffer shall be provided between the northern property line and any activities associated with project development. A solid, 6-foot buffer wall constructed of non-combustible material shall be erected along the 100-foot buffer boundary to prevent access and to protect	<p>Revise to read: <u>Native habitats not affected by clearing, grubbing, grading, and construction activities, including areas designated as open space (Land Use Area 7) and the adjacent BMER (along the northern boundary of the property) shall be protected during project construction and occupancy.</u></p>

<p>the buffer area and adjacent BMER. With the exception of grading and clearing necessary to construct the buffer wall, vegetation removal, ground disturbance, human access, fire management, or other actions associated with construction or occupancy of the project site shall be prohibited within the BMER buffer. Additional structural setbacks for fire safety shall be provided as addressed in Public Services Standard PS-4. [BIO-1.1b]</p>	<p>At a minimum, a 100-foot BMER buffer shall be provided between the northern property line of <u>Plan Unit 2 (reference the Burton Ranch Specific Plan, Figure 4)</u> and any activities associated with project development. A solid, 6-foot buffer wall constructed of non-combustible material shall be erected along the 100-foot buffer boundary to prevent access and to protect the buffer area and adjacent BMER. <del>With the exception of grading and clearing necessary to construct the buffer wall,</del> <u>Vegetation removal, ground disturbance, human access, fire management, or other actions associated with construction or occupancy of the project site shall be prohibited within the BMER buffer. Additional structural setbacks for fire safety shall be provided as addressed in Public Services Standard PS-4. [BIO-1.1b]</u></p> <p>In addition, add the following either as an additional paragraph or as a separate standard:  <u>To avoid additional indirect impacts on native habitat south of the solid wall, in addition to the requirements of RES – 3, one of the following (a, b, or c) is required:</u></p> <ol style="list-style-type: none"> <li>a. <u>Set back all habitable and accessory structures a minimum of 200 feet from the northern project site boundary. This would provide for the 100-foot buffer, a 30-foot vegetation removal area adjacent to residential structures, and an additional 70-foot wide fuel modification zone. Non-structural improvements including landscaping and roadways shall be limited to the 30-foot cleared zone extending north from the structures.</u></li> <li>b. <u>Establish a 300-foot buffer area between project development and the BMER to ensure additional protection of the habitat and reduce the impact on Burton Mesa chaparral (reference to Figure 4.3-2 in the Revised FEIR). Alternatively, to minimize the loss of Burton Mesa chaparral, the 300-foot buffer could be averaged across the northern boundary of the property (this would include the 100-foot minimum buffer at the northeast corner of the site, greater than 100-foot buffer at the northern boundary, and all of Land Use Area 7, as depicted in Figure 4.3.2).</u></li> <li>c. <u>Construct an internal non-collector roadway parallel to and directly south of the solid wall (reference to Figure 4.3-3 in the Revised FEIR). The paved roadway would act as a firebreak that would minimize the amount of area requiring vegetation clearance and maintenance south of the wall.</u></li> </ol> <p>For specific mitigation requirements and details for the 100 foot buffer and Land Use Area 7, and the measures for additional avoidance of impacts on native habitats south of the solid wall, please refer to the Burton Ranch Specific Plan Revised Final Environmental Impact Report, EIR 02-01, mitigation measure BIO-1.1b on pages 4.3-24 through 4.3-26.</p> <p>Supporting Documentation: (1) Revised FEIR, pages 4.3-24 and 4.3-25, mitigation measure BIO-1.1b. No construction activities are allowed in the 100-foot buffer. There are no exceptions for clearing and grading. (2) Mitigation measure BIO-1.1b includes important requirements and details pertaining to the 100-foot buffer and Land Use Area 7. (3) BIO-1.1b contains more mitigation requirements that would effect the layout of development than just the 100-foot buffer and solid wall. Any user of the Burton Ranch Specific Plan should be directed to the source of the mitigation measure to view it in detail in order to ensure full compliance.</p>
<p>RES – 7, page 18: An Oak Tree Protection and Replacement Plan shall be prepared by a City-qualified arborist to address any accidental loss of "specimen" oak trees (i.e., greater than 6" in diameter at breast height [DBH]) as a result of buildout in Plan</p>	<p>Revise RES – 7 on page 18 with the language from mitigation measure BIO-3.1 as follows:  An Oak Tree Protection and Replacement Plan shall be prepared by a City-qualified arborist to address any accidental</p>

<p>Unit 2. The plan shall include the location and extent of the oak tree driplines and the type and location of any protective fencing for those specimen trees designated by the Oak Tree Protection and Replacement Plan for preservation in Plan Unit 2 that are outside of proposed grading for residential structures, roadways, and landscaping. Any individual project site specimen oak trees that are to be preserved according to the proposed Oak Tree Protection and Replacement Plan that are inadvertently damaged or killed by construction grading, filling, heavy equipment operation, or new landscaping shall be mitigated in terms of their lost habitat area, as determined by the City of Lompoc Urban Forester. [BIO-3.1]</p>	<p><u>the loss of "specimen" oak trees (i.e., greater than 6" in diameter at breast height [DBH]) as a result of buildout in Plan Unit 2 that are not otherwise compensated for through acquisition and preservation of Burton Mesa chaparral and oak savannah habitat.</u></p> <p>Supporting Documentation: Revised FEIR, pages 4.3-50 and 4.3-51, mitigation measure BIO-3.1. The applicants, applicants' consultant, applicants' attorney, EIR consultant, and City staff spent numerous hours on the specific language contained in BIO-3.1. All parties agreed to the language as it is currently worded in BIO-3.1.</p>
<p>RES – 7, page 18: An Oak Tree Protection and Replacement Plan shall be prepared by a City-qualified arborist to address any accidental loss of "specimen" oak trees (i.e., greater than 6" in diameter at breast height [DBH]) as a result of buildout in Plan Unit 2. The plan shall include the location and extent of the oak tree driplines and the type and location of any protective fencing for those specimen trees designated by the Oak Tree Protection and Replacement Plan for preservation in Plan Unit 2 that are outside of proposed grading for residential structures, roadways, and landscaping. Any individual project site specimen oak trees that are to be preserved according to the proposed Oak Tree Protection and Replacement Plan that are inadvertently damaged or killed by construction grading, filling, heavy equipment operation, or new landscaping shall be mitigated in terms of their lost habitat area, as determined by the City of Lompoc Urban Forester. [BIO-3.1]</p>	<p>Add the following language at the end of standard RES – 7: <u>For specific mitigation requirements and details for the Oak Tree Protection and Replacement Plan, please refer to the Burton Ranch Specific Plan Revised Final Environmental Impact Report, EIR 02-01, mitigation measure BIO-3.1 on pages 4.3-50 through 4.3-52.</u></p> <p>Supporting Documentation: Revised FEIR, pages 4.3-50 through 4.3-52, mitigation measure BIO-3.1, contains important requirements and details for the Oak Tree Protection and Replacement Plan. Any user of the Burton Ranch Specific Plan should be directed to the source of the mitigation measure to view the requirements and details of the Oak Tree Protection and Replacement Plan to ensure full compliance.</p>
<p>RES – 8, page 18: To preserve the maximum number of mature Coast Live Oaks on the site as possible, in addition to the requirements of FEIR Mitigation Measure BIO-3.1, development plans shall be designed to preserve oaks on the site that are healthy and have minimum trunk diameters of 10 inches or larger at breast height . . . Oaks with diameters of 10 inches or larger that are to be preserved or removed will be designated on development plans.</p>	<p>Insert language so as to read: To preserve the maximum number of mature Coast Live Oaks on the site as possible, in <del>addition to the requirements of Revised FEIR Mitigation Measure BIO-3.1,</del> development plans <u>outside of Plan Unit 2</u> shall be designed to preserve oaks on the site that are healthy and have minimum trunk diameters of 10 inches or larger at breast height . . . Oaks with diameters of 10 inches or larger that are to be preserved or removed will be designated on development plans.</p> <p>Supporting Documentation: As stated, RES - 8 contradicts RES -7. RES-7 is supported by BIO-3.1 and requires preservation of oak trees that are 6 inches or larger in diameter at breast height (dbh). The recommended clarification is to distinguish between the requirements of RES-7 as supported by mitigation measure BIO-3.1 (Revised FEIR pages 4.3-50 and 4.3-51), which pertains to mitigating the loss of oak trees in the oak savanna located in Plan Unit 2, and the requirements of RES-8 which pertains to the loss of oak trees in the remainder of the Burton Ranch Specific Plan area. Loss of oak trees in Plan Unit 2 is addressed by mitigation measure BIO-3.1 (RES - 7). The loss of oak trees in Plan Units 1 and 3 through 8 are addressed by Resource Conservation Development Standard RES-8 and requires preservation of oak trees that are 10 inches or larger in diameter at breast height.</p>
<p>RES – 12, page 19: Land Use Area 7 will remain undeveloped and will be identified on all maps as an unbuildable site.</p>	<p>Add the following language to RES – 12, page 19, to read: Land Use Area 7 will remain undeveloped and will be identified on all <u>future tentative and final parcel and/or tract/subdivision maps</u> as an unbuildable site.</p> <p>Reason for revision: The word "maps" is too general and can mean any type of a map, such as a road map or a topographic map. Specifying "future tentative and final parcel and/or tract/subdivision maps" will prevent uncertainty and ensure that Land Use Area 7 is recorded as an undevelopable site through a legal document.</p>
<p>Land Use Plan Map, Figure 8, page 25</p>	<p>Revise the boundary of the Land Use Plan Map, Figure 8, page 25, to include all of the property comprising the 149 acre Specific Plan.</p> <p>Reason for revision: The Burton Ranch Specific Plan area</p>

	<p>comprises all eleven parcels bounded by State Highway 1, Harris Grade Road, and the Burton Mesa Ecological Preserve and should be clearly identified as such on the Land Use Plan Map.</p>
<p>Procedure, page 26, 2<sup>nd</sup> paragraph: It is the intent of this section that procedures related to development in the Burton Ranch Specific Plan area shall follow those procedures of the City that generally apply to other permit requests . . .</p>	<p>Insert the following language: It is the intent of this section that procedures related to <u>initial</u> development in the Burton Ranch Specific Plan area shall follow those procedures of the City <u>in effect at the time the requests are made</u> that generally apply to other permit requests . . .</p> <p>Reason for revision: Procedures need to be specified for initial development in the Burton Ranch Specific Plan area as following the procedures in effect at the time the requests are made as it is specified for alterations, remodels, and reconstruction after initial development on page 27.</p>
<p>Procedure, page 26, 3<sup>rd</sup> paragraph: The Planning Commission or City Council may approve development plans and subdivision maps that do not meet the standards contained herein, provided that findings can be made that the approved design would result in development standards with a 10% or less change from the standards contained herein. Where no numerical value can be placed on the adjustment, the development plans and subdivision maps may be approved when it can be demonstrated that the proposed adjustment would enhance the overall appearance or function of the project and would advance the general objectives of this Specific Plan.</p>	<p>Revised as follows: The Planning Commission or City Council may approve development plans and subdivision maps that do not meet the standards contained herein, provided that findings can be made that the approved design (1) <u>provides for the orderly development of land in conformance with the comprehensive scheme contemplated by the Land Use Element and other elements of the General Plan of the City and of this Burton Ranch Specific Plan, while permitting a flexible design approach to the development of a total community environment equal to or better than that resulting from traditional lot-by-lot land use development,</u> and (2) would result in development standards with a 10% or less change from the standards contained herein. Where no numerical value can be placed on the adjustment, the development plans and subdivision maps may be approved when it can be demonstrated that the proposed adjustment would enhance the overall appearance or function of the project and would advance the general objectives of this Specific Plan.</p> <p>Reason for additional language: This is the finding upon which the Planning Commission can approve standards that would be different than the Specific Plan.</p>
<p>General Zoning Provisions, pages 27 and 28, item 3, Affordable Housing</p>	<p>Revise as follows:</p> <p>3. Affordable Housing. Affordable housing will be provided by each Plan Unit, based on 10% of the total units proposed in each Plan Unit. Units may be constructed on-site or off-site, or in-lieu fees may be paid based on the City of Lompoc's in-lieu fee program <del>in effect at the time of subdivision map approval which specifies that in-lieu fees are calculated and paid at the time of issuance of first building permit of the first dwelling unit of a residential development.</del> Affordable units shall be consistent with the following requirements:</p> <ol style="list-style-type: none"> <li>Affordability levels of units on-site will be provided <del>between very low (up to 50% of Area Median Income) to moderate (up to 120% Area Median Income) with an average affordability target of 85% of Area Median Income</del> <u>at a mix of one-third (1/3) very low (up to 50% of Area Median Income), one-third (1/3) low (50% to 80% of Area Median Income), and one-third (1/3) moderate (80% to 120% of Area Median Income).</u></li> <li>Affordable units will be similar in architectural detailing and exterior features as market rate homes, but are not required to be the same size as, or have the same level of interior finishes as, the market rate homes.</li> <li>Bathrooms for Affordable Units shall be provided on the same floor as the bedrooms are located.</li> <li>Affordable rental units would be a mix of 1 and 2 bedroom units, and affordable ownership units would have a minimum of 2 bedrooms. Maximum sales or rental prices will be adjusted by bedroom count.</li> <li>Affordable units built on-site will be dispersed within the higher density areas for each Plan Unit (i.e., Land</li> </ol>

	<p>Use Areas 1, and 2, and 3). Affordable Units within Plan Unit 2 shall be dispersed within Land Use Areas 2 and 3. Affordable Units for Plan Unit 1 may be dispersed solely within Land Use Area 1, or may be dispersed between Land Use Areas 1 and 2, at the discretion of the developer. A minimum of 10% of affordable units or in-lieu fees on a cumulative basis shall be provided for each development approval.</p> <p>f. In Land Use Area 1, affordable units constructed on-site may be provided as apartments or attached condominiums, unless the market rate units proposed in this area are single family homes, in which case affordable units may be provided as duplexes, triplexes or single family homes. In Land Use Areas 2 and 3, affordable units constructed on-site may be provided as duplexes, triplexes or single family homes, at the discretion of the developer subject to Planning Commission approval. Developers proposing affordable units as duplexes and triplexes in Land Use Areas 2 and 3 must demonstrate during the design review stage that the duplexes and triplexes have been carefully integrated into the development project.</p>
<p>Land Use Area 1, II. Design Standards, page 29 Land Use Area 2, II. Design Standards, page 31 Land Use Area 3, II. Design Standards, page 33 Land Use Area 4, II. Design Standards, page 34</p>	<p>Add a standard to cross reference the height requirement that is defined in the General Zoning Provisions on page 27.</p> <p>Development standards including height, setbacks, lot coverage, landscaping, and lot sizes should be located in one section of each of the Land Use Areas in the Zoning chapter. At a minimum, reference to the location one could find the height requirements should be included in the Zoning section.</p>
<p>Land Use Area 1, II. Design Standards, page 29, item 4</p>	<p>Identify the minimum percentage of landscaped common open area in the standard. A minimum 15% landscaped common open area is acceptable.</p> <p>Reason for standard: As in most multi-family developments, a minimum percentage of landscaping should be included as a standard.</p>
<p>Land Use Area 2, II. Design Standards, page 32, item 6</p>	<p>Develop a standard to address typical openings [windows and/or doors] that would be allowed in the exterior walls of Unit 1 in Figure 10, e.g., types of opening, minimum height of opening above floor, orientation of opening relative to the usable yard space of Unit 2, type of glass in openings [e.g., obscure, fixed, etc.].</p> <p>Reason for standard: Zero lot line or Z-lot developments present a number of privacy issues relative to the exterior wall of the dwelling on the zero lot line or Z-lot line and the usable space of the adjacent property. Because the location of the property line would be five feet away from the dwelling on the zero lot line or Z-lot developments, the Uniform Building Code would allow windows in this exterior wall. The privacy issues relate to the location and type of windows that would be allowed in the exterior wall. The Specific Plan should address these issues at this time including a minimum height of openings above the floor, orientation of opening, type of glass in openings, e.g., obscure or fixed.</p>
<p>Land Use Area 2, II. Design Standards, page 32, item 6.a, 2<sup>nd</sup> sentence: Porches or other architectural features that do not constitute living area and are for the purpose of enhancing architectural styling may encroach into the setback 5 feet, however, in no case shall a porch or other architectural feature be closer than 10 feet to a sidewalk.</p>	<p>Insert the word "public" so as to read: Porches or other architectural features that do not constitute living area and are for the purpose of enhancing architectural styling may encroach into the setback 5 feet, however, in no case shall a porch or other architectural feature be closer than 10 feet to a public sidewalk.</p> <p>Reason for clarification: To distinguish between the public sidewalk and any private sidewalk up to the house or back to the rear yard.</p>
<p>Land Use Area 3, II. Design Standards, page 33, item 5.a, 2<sup>nd</sup> sentence: Porches or other architectural features that do not</p>	<p>Insert the word "public" so as to read: Porches or other architectural features that do not constitute living area and are</p>

<p>constitute living area and are for the purpose of enhancing architectural styling may encroach into the setback 5 feet, however, in no case shall a porch or other architectural feature be closer than 10 feet to a sidewalk.</p>	<p>for the purpose of enhancing architectural styling may encroach into the setback 5 feet, however, in no case shall a porch or other architectural feature be closer than 10 feet to a <u>public</u> sidewalk.</p> <p>Reason for clarification: Refer to above comment.</p>
<p>CIRC – 4, Figure 22, page 46: Delete the text from Figure 22 (Public Works, Engineering Division comment)</p>	<p>Delete the text callouts for radius and lane width from Figure 22</p> <p>Reason for revision: The roundabouts have not been designed nor has the final geometry been approved. Figures 21 and 22 should only be used as a general conceptual layout of how the roundabout may look.</p>
<p>CIRC – 8, page 47: Insert text after the 3<sup>rd</sup> sentence. (Public Works, Engineering Division comment)</p>	<p>Revise as follows:  CIRC – 8. Street lighting fixtures unique to the Burton Ranch will be provided on all collector roads and residential streets. The fixtures will be a rural or "old-fashioned" decorative style, as described in the Architectural and Site Design Standards section of this Specific Plan. Lighting within the Burton Ranch is not required to provide the same level of overall illumination as provided by typical City street lighting <u>except at intersections as directed by the City Engineer</u>. Consistent with UTIL – 12, the intent of this is to preserve the rural atmosphere in the Burton Ranch, to avoid spill-over to the Burton Mesa Ecological Reserve, and to avoid nighttime glare as seen from a distance. Lighting on private drives is at the option of the developer. Specific street lighting criteria is contained in Utility Development Standards UTIL – 8 through UTIL – 12. [AES-4.1]</p> <p>Reason for revision: The project proposes roundabout intersections. Inadequate lighting is a contributor to accidents at intersections but is especially important at roundabouts due to the extra maneuvering required to traverse the intersection. The added text will ensure the design addresses safety lighting at intersections.</p>
<p>CIRC – 14, page 48: Insert text after last sentence. (Public Works, Engineering Division comment)</p>	<p>Revise as follows:  CIRC –14. On-site access to Street "A" shall be located no closer than 300 feet north of the intersection with Highway 1 to avoid having access blocked by the 95<sup>th</sup> percentile queue of southbound vehicles exiting the project site. This distance may be modified by the City Engineer if Street "A" is designed with dual turn lanes which meet the intent of this standard. <u>Access to the existing frontage road will be relocated to comply with this requirement.</u> (TRANS-1.4e)</p>
<p>UTIL – 9, page 50: Insert text after last bullet. (Public Works, Engineering Division comment)</p>	<p>Revise as follows:  UTIL – 9. Intensity of illumination on public streets shall be based on the following:</p> <ul style="list-style-type: none"> <li>• Meet IES (Illuminating Engineering Society) recommended guidelines for roadway and exterior walkway lighting, as specified in the IES Lighting Handbook, 9<sup>th</sup> Edition.</li> <li>• For Residential Streets, provide 0.4 foot-candle average at a spacing of 200 feet minimum, with a uniformity ratio (average to minimum) no higher than 6:1.</li> <li>• For Collector Roads, provide 0.6 foot-candle average at a spacing of 125 feet minimum, with a uniformity ratio no higher than 4:1.</li> <li>• For institutional (school), provide 0.9 foot-candle average at a spacing of 80 feet minimum, with a uniformity ratio no higher than 4:1.</li> <li>• <u>Intersections shall have safety lighting acceptable to the City Engineer.</u></li> </ul> <p>Reason for revision: The project proposes roundabout intersections on the collector roads. Inadequate lighting is a contributor to accidents at intersections but is especially important at roundabouts due to the extra maneuvering required to traverse the intersection. The added text will ensure the design addresses safety lighting at intersections.</p>
<p>PS – 2, page 52, 2<sup>nd</sup> sentence: These include fees for parks (Quimby fees), solid waste and recycle container fees, traffic</p>	<p>Revise 2<sup>nd</sup> sentence to list the fees as they are adopted by City Council resolution: These include fees for park improvements,</p>

impact fees, police station impact fees and fire protection fees . .	park land, recreation centers, libraries, water, wastewater, police facilities, fire facilities, street improvements, traffic signals, bikeways, and refuse containers . . .  Reason for revision: Reference fee study and City Council adopted fee resolution.
Table 2, page 54, Infrastructure Timing Schedule, Circulation, Payment of Traffic Mitigation Fees, Timing of improvement: Fees to be paid prior to issuance of certificate of occupancy for each dwelling unit.	Revise timing of the improvement to read: Fees to be paid <del>prior to</del> <u>upon the issuance of certificate of occupancy for each dwelling unit</u> <del>any development permit or prior to final building inspection.</del>  Supporting Documentation, Revised FEIR, page 4.12-36, mitigation measure TRANS-1.2f
Table 2, page 54, Infrastructure Timing Schedule, Circulation, Harris Grade Road frontage improvements, Timing of improvement: Construct concurrently with each Plan Unit's respective frontage on Harris Grade Road, subject to Reimbursement Agreement. (Public Works, Engineering Division comment)	Revise to read: Construct concurrently with each Plan Unit's respective frontage on Harris Grade Road, subject to Reimbursement Agreement <u>and all frontage improvements shall extend continuously from intersection to intersection.</u>  Reason for revision: The added text will ensure facilities along Harris Grade Road are constructed in a manner that will provide safety to the public. Left Turn Lanes, Sidewalk and Bike Lanes will provide connection to the nearest intersection so that the public is not "stranded" by an arbitrary gap along a Plan Unit frontage.
Table 2, page 55, Infrastructure Timing Schedule, Circulation, Internal project roadways, roundabouts, pedestrian paths, sidewalks and street lighting, Timing of improvement: Collector road design to be provided with submittal of the first tract map for the development. Construct concurrently with each Plan Unit's respective development plans. (Public Works, Engineering Division comment)	Revise to read: : Collector road design to be provided with submittal of the first tract map for the development. Construct concurrently with each Plan Unit's respective development plans <u>and the "A" Street connection to Highway 1 shall be constructed by the time the cumulative project development exceeds 275 PM peak hour trips.</u>  Reason for revision: The Revised FEIR identifies 40% (275 peak hour trips) of the project traffic will use the "A" Street connection to Highway 1. The added text will ensure the traffic from the various project phases do not overburden Harris Grade Road.
Figure 33 – Drainage Improvements, page 63, 2 <sup>nd</sup> paragraph in side box: The figure depicts seven options for drainage improvements in the Wye Specific Plan area.	Revise to read: The figure depicts seven options for drainage improvements in the <del>Wye</del> <u>Burton Ranch</u> Specific Plan area.
ARCH – 4, page 65: Roofing materials shall consist of rich tones, not light colors that will be visually prominent from a distance. Roofs shall be constructed of non-reflective material, such as concrete or clay. Asphalt shingle roofs are not acceptable. [AES-3.2.3]	Revise to read: Roofing materials shall consist of rich tones, not light colors that will be visually prominent from a distance. <u>All roofs shall be tile roofs (concrete or clay is acceptable).</u> Roofs shall be constructed of non-reflective material, <del>such as concrete or clay.</del> Asphalt shingle roofs are not acceptable. [AES-3.2.3]  Supporting Documentation, Revised FEIR, page 4.1-26, mitigation measure AES-3.2.3
ARCH – 7, page 65: Second floors shall be partially stepped back from the first floor walls to break up building mass (see Figure 29). In general, the floor area of second stories should be substantially smaller than the floor area of the first floor. [AES-3.2.3]	Revise as follows: Second floors shall be partially stepped back from the first floor walls to break up building mass (see Figure 29 <del>33 corrected 34</del> ). In general, the floor area of second stories should be substantially smaller than the floor area of the first floor. [AES-3.2.3]  Supporting Documentation: Revised FEIR, pages 65 and 66
Figure 33 – Example of Well-Executed Massing, page 66	Re-label to Figure 34 due to insertion of Figure 33 – Drainage Improvements
Figure 34 – Example of Desirable Exterior Details, page 66	Re-label to Figure 35 due to insertion of Figure 33 – Drainage Improvements
ARCH – 11, page 67: The garage is important, but it should not be the dominant feature of the front elevation of the home. Garage doors are encouraged to be placed either flush with or behind the front face of the home (see Figures 35-37).	Revise to read: The garage is important, but it should not be the dominant feature of the front elevation of the home. Garage doors are encouraged to be placed either flush with or behind the front face of the home (see Figures <del>35-37</del> <u>36-38</u> ).  Revise references due to insertion of Figure 33 – Drainage Improvements
Figure 35 – Acceptable Garage Integration, page 67	Re-label to Figure 36 due to insertion of Figure 33 – Drainage Improvements
Figure 36 – Unacceptable Garage Integration, page 67	Re-label to Figure 37 due to insertion of Figure 33 – Drainage Improvements



Figure 37 – Acceptable Garage Integration, page 67	Re-label to Figure 38 due to insertion of Figure 33 – Drainage Improvements
Policy 2.5 Discussion, page 72, 2 <sup>nd</sup> sentence: The small drainage swale supporting seasonal wetland vegetation in Land Use Area 1, the 3.3-acre Land Use Area 6 that incorporates a stand of oak trees in a passive park, and the 8-acre Land Use Area 7 that is highly constrained by steep topography . . .	Revise to read: The small drainage swale supporting seasonal wetland vegetation in Land Use Area 1, the <del>3.3</del> <u>2-</u> to <u>3</u> -acre Land Use Area 6 that incorporates a stand of oak trees in a passive park, and the <del>8</del> <u>10</u> -acre Land Use Area 7 that is highly constrained by steep topography . . .  Supporting Documentation: Revised FEIR List of Revisions, page 5 (revision on page 4.1-31, Policy 2.5, 2 <sup>nd</sup> sentence)
Police Protection, Land Use Element, page 90, Policy 7.1	Revise Land Use Element to Public Services Element
Recreation, Parks and Recreation Element, Policy 1.1, Discussion, page 92: The proposed project would provide recreational amenities that would be publicly accessible. A total of approximately 3 acres would be dedicated to neighborhood park facilities, but no community park or regional park acreage would be provided. Project buildout would add up to 1,395 persons to the area, resulting in a corresponding demand for a total of 16.7 acres of parkland. Implementation of measures REC-1.1 through -1.3 or REC-1.1, -1.3, and -1.4 (that would ensure after-hours access to outdoor recreational facilities in the event the LUSD were to establish a school on Land Use Area 5), would ensure project consistency with this policy by providing adequate neighborhood, community, and regional park development.	Revise as follows: The proposed project would provide recreational amenities that would be publicly accessible. A total of approximately 3 acres would be dedicated to neighborhood park facilities, but no community park or regional park acreage would be provided. Project buildout would add up to 1,395 persons to the area, resulting in a corresponding demand for a total of 16.7 acres of parkland. Implementation of measures REC-1.1 through <del>1.3</del> or REC <del>1.1, 1.3, and 1.4</del> (that would ensure after hours access to outdoor recreational facilities in the event the LUSD were to establish a school on Land Use Area <del>5</del> ), would ensure project consistency with this policy by providing adequate neighborhood, community, and regional park development.  Supporting Documentation: Revised FEIR, page 92, Policy 1.1, Discussion
Recreation, Parks and Recreation Element, Policy 1.4, Discussion, page 92: The proposed project would provide recreational amenities that would be publicly accessible for organized recreational activities. However, the size of the approximately 2- to 3-acre passive park and proposed preservation of oak trees does not make it amenable to organized public recreational opportunities such as ball fields that require large contiguous expanses of flat playing areas. As the proposed recreational area emphasizes preservation of important biological resources, the inability to also provide organized recreational opportunities is offset. Therefore, the proposed project is potentially consistent with this policy.	Revise as follows: The proposed project would provide <u>passive</u> recreational amenities that would <u>not</u> be publicly accessible for organized recreational activities. However, the size of the approximately 2- to 3-acre passive park and proposed preservation of oak trees does not make it amenable to organized public recreational opportunities such as ball fields that require large contiguous expanses of flat playing areas. As the proposed recreational area emphasizes preservation of important biological resources, the inability to also provide organized recreational opportunities is offset. Therefore, the proposed project is potentially consistent with this policy.  Supporting Documentation: Revised FEIR, page 4.11-5, Policy 1.4, Discussion. The FEIR did not analyze a community park which would generate vehicle trips and impact the circulation system.
The mitigation measures that are included in the Burton Ranch Specific Plan, <i>Section XI. Mitigation Measures</i> , pages 102 through 145 are recommended to be revised in the following manner because they need to be identical to the mitigation measures included in the Revised Final Environmental Impact Report (Revised FEIR) which forms the basis for the Statement of Overriding Considerations and Findings of Fact, the Mitigation Monitoring and Reporting Program, and Planning Commission, City Council, and Local Agency Formation Commission approvals. The mitigation measures contained in the Burton Ranch Specific Plan will also be used during future review of individual projects. Therefore, the following revisions are recommended to make the mitigation measures contained in the Burton Ranch Specific Plan consistent with the Revised FEIR.	
XI. MITIGATION MEASURES, page 102, item 3, paragraph: Parcel Map and Public Improvement Plans shall be reviewed by the Community Development Department and Public Works Department prior to approval of the Parcel Map by the Planning Commission or Final Map by the City Council, as applicable.	Revise to read: Parcel Map and Public Improvement Plans shall be reviewed by the Community Development Department and Public Works Department prior to approval of the Parcel Map by the <del>Planning Commission</del> <u>City Engineer</u> or Final Map by the City Council, as applicable.  Approval of tentative maps is under the authority of the Planning Commission but approval of Parcel Maps is under the authority of the City Engineer. Acceptance of this revision implies acceptance of revision to all "Timing" Requirements for Mitigation Measures with the Standard Timing requirement.
Mitigation Measure AES-3.2.1, page 104, Timing	Add to Timing: <u>The perimeter sound wall shall be maintained in perpetuity, in accordance with the approved plans.</u>  Supporting Documentation: Revised FEIR, pages 4.1-24 and 4.1-25, mitigation measure AES-3.2.1

<p>Mitigation Measure AES-3.2.2, page 104, 2<sup>nd</sup> sentence: It shall require the spacing and clustering of a variety of street trees accent trees and ornamental shrubs capable of completely screening views . . .</p>	<p>Revise: It shall require the spacing and clustering of a variety of street trees, accent trees, and ornamental shrubs capable of completely screening views . . .</p> <p>Supporting Documentation: Revised FEIR, pages 4.1-25 and 4.1-26, mitigation measure AES-3.2.2</p>
<p>Mitigation Measure AES-3.2.2, page 104, 6<sup>th</sup> sentence: All Harris Grade Road and State Highway 1 street frontage landscaping shall provide a mix of species up to a 36 box size and oak trees proposed near residences . . .</p>	<p>Revise: All Harris Grade Road and State Highway 1 street frontage landscaping shall provide a mix of species up to a 36 <u>inch</u> box size and <u>any</u> oak trees proposed near residences . . .</p> <p>Supporting Documentation: Revised FEIR, pages 4.1-25 and 4.1-26, mitigation measure AES-3.2.2</p>
<p>Mitigation Measure BIO-1.1b, page 109:  <b>BIO-1.1b: 1:</b> Native habitats not affected by clearing, grubbing, grading, and construction activities, including areas designated as open space (Land Use Area 7) and the adjacent BMER (along the northern boundary of the property) shall be protected by a preservation buffer . At a minimum, a 100-foot buffer between the BMER and any activities associated with project development shall be required. A 300-foot buffer area between project development and the BMER would ensure additional protection of the habitat and would reduce the impact to Burton Mesa chaparral (see EIR Figure 4.3-2). No vegetation removal, ground disturbance, human access, fire management, or other actions associated with construction or occupancy of the project site shall be allowed within this preservation buffer or Land Use Area 7. The boundary of Land Use Area 7 located within 50-feet of any future ground disturbances shall be temporarily fenced (i.e., with plastic construction or chain link fence) throughout all vegetation clearing, grubbing, grading, and construction activities. A solid, non-combustible material, 6-foot high wall shall be erected along the buffer to prevent access and to protect the buffer area and adjacent BMER.</p> <p>2: In order to avoid additional indirect impacts on native habitat south of the solid wall, one of the following (a, b, or c) is required:</p> <p>a. Set back all habitable and accessory structures a minimum of 200 feet from the northern project site boundary. This would provide for the 100-foot buffer, a 30-foot vegetation removal area adjacent to residential structures, and an additional 70-foot wide fuel modification zone. Non-structural improvements including landscaping and roadways shall be limited to the 30-foot cleared zone extending north from the structures.</p> <p>b. Establish a 300-foot buffer area between project development and the BMER to ensure additional protection of the habitat and reduce the impact on Burton Mesa chaparral (see Figure 4.3-2). Alternatively, to minimize the loss of Burton Mesa chaparral, the 300-foot buffer could be averaged across the northern boundary of the property (this would include the 100-foot minimum buffer at the northeast corner of the site, greater than 100-foot buffer at the northern boundary, and all of Land Use Area 7, as depicted in Figure 4.3-2).</p> <p>c. Construct an internal non-collector roadway parallel to and directly south of the solid wall (see Figure 4.3-3). The paved roadway would act as a firebreak that would minimize the amount of area requiring vegetation clearance and maintenance south of the wall.</p> <p>3: Designated onsite open space or other sensitive areas shall be fenced temporarily (such as with construction fence or chain link fence) or otherwise identified and avoided throughout all clearing, grubbing, grading and construction activities. All personnel, equipment and ground disturbances, including grading for buildings, roads, easements, utilities, staging areas and vegetation removal shall be prohibited within the buffer areas or other designated off-limit areas.</p>	<p>Revise as follows:  <b>BIO-1.1b:</b> Native habitats not affected by clearing, grubbing, grading, and construction activities, including areas designated as open space (Land Use Area 7) and the adjacent BMER (along the northern boundary of the property) shall be protected <u>during project construction and occupancy</u>.  <u>At a minimum, a 100-foot buffer between the BMER on the northern project boundary and any activities associated with project development shall be required. A 300-foot buffer area between project development and the BMER would ensure additional protection of the habitat and would reduce the impact to Burton Mesa chaparral (see EIR Figure 4.3-2). No vegetation removal, ground disturbance, human access, fire management, or other actions associated with construction or occupancy of the project site shall be allowed within this preservation buffer or Land Use Area 7 . prohibiting vegetation removal, ground disturbance, human access, fire management, or other actions associated with construction or occupancy of the project site shall be required. In addition, any areas within this 100-foot protection buffer that are currently disturbed, such as access corridors, shall be revegetated to prevent any further degradation or invasion by non-native plant species and shall protect the adjacent BMER.</u></p> <p><u>Any chaparral removal for pre-construction clearing or grubbing shall be preceded by a biological survey and be monitored, if deemed necessary, by the survey biologist. Any grading or clearing in future protection buffer areas or other areas designated as open space shall be subject to onsite restoration.</u></p> <p>The boundary of open <u>space</u> Land Use Area 7 located within 50-feet of any future ground disturbances shall be temporarily fenced (i.e., with plastic construction or chain link fence) throughout all vegetation clearing, grubbing, grading, and construction activities. <u>All personnel, equipment, and ground disturbances including grading for buildings, roads, easements, utilities, staging areas, and vegetation removal shall be prohibited within the open space area.</u></p> <p>A solid, non-combustible material, 6-foot high wall shall be erected along the <u>100-foot</u> buffer <u>boundary</u> to prevent access and to protect the buffer area and adjacent BMER.</p> <p>2: In order to avoid additional indirect impacts on native habitat south of the solid wall, one of the following (a, b, or c) is required:</p> <p>a. Set back all habitable and accessory structures a minimum of 200 feet from the northern project site boundary. This would provide for the 100-foot buffer, a 30-foot vegetation removal area adjacent to residential structures, and an additional 70-foot wide fuel modification zone. Non-structural improvements including landscaping and roadways shall be limited to the 30-foot cleared zone extending north from the structures.</p> <p>b. Establish a 300-foot buffer area between project development and the BMER to ensure additional protection of the habitat and reduce the impact on Burton Mesa chaparral (see Figure 4.3-2). Alternatively, to minimize the loss of Burton Mesa chaparral, the 300-foot buffer could be averaged across</p>

	<p>the northern boundary of the property (this would include the 100-foot minimum buffer at the northeast corner of the site, greater than 100-foot buffer at the northern boundary, and all of Land Use Area 7, as depicted in Figure 4.3-2).</p> <p>c. Construct an internal non-collector roadway parallel to and directly south of the solid wall (see Figure 4.3-3). The paved roadway would act as a firebreak that would minimize the amount of area requiring vegetation clearance and maintenance south of the wall.</p> <p>3: Designated onsite open space or other sensitive areas shall be fenced temporarily (such as with construction fence or chain link fence) or otherwise identified and avoided throughout all clearing, grubbing, grading and construction activities. All personnel, equipment and ground disturbances, including grading for buildings, roads, easements, utilities, staging areas and vegetation removal shall be prohibited within the buffer areas or other designated off-limit areas.</p> <p>Supporting Documentation, Revised FEIR, pages 4.3-24 and 4.3-25, mitigation measure BIO-1.1b</p>
Mitigation Measure BIO-1.1b, page 109, Requirements & Monitoring, 1 <sup>st</sup> sentence: The applicant shall indicate all native habitat preservation buffers on the preliminary and final grading plans and development plans.	<p>Revise as follows: The applicant shall indicate all native habitat preservation buffers on the preliminary and final grading plans and development plans.</p> <p>Supporting Documentation, Revised FEIR, pages 4.3-24 through 4.3-26, mitigation measure BIO-1.1b</p>
Page 110, between the existing Mitigation Measure BIO-1.1c and BIO-1.1d	<p>Insert BIO-1.1d from pages 4.3-30 through 4.3-31</p> <p>BIO-1.1d: If off-site mitigation is proposed and the quality of off-site Burton Mesa is not equivalent to the habitat lost on-site, an Off-Site Habitat Restoration Plan shall be submitted that includes the following:</p> <ol style="list-style-type: none"> <li>A map depicting the location of the project site relative to the off-site Burton Mesa chaparral mitigation site.</li> <li>Specifics for sources of plant materials (including salvaging from the project site, if appropriate), seeding (including timing for seed collection and seeding methods), planting methods and timing, planting density, plant protection, and maintenance. All native plant materials for restoration shall be collected locally.</li> <li>Monitoring and maintenance requirements including frequency and timing of watering, weed control methods and timing, and monitoring and reporting procedures. The maintenance requirements shall be no less than 5 years unless satisfactory habitat is established before that time.</li> <li>Performance criteria that specify the minimum requirements for size and health of replacement plants including a period of time without supplemental watering. The maintenance requirements shall be no less than 5 years unless satisfactory habitat is established before that time.</li> <li>An annual report shall be submitted to the City of Lompoc Community Development Department for review.</li> </ol> <p>Supporting Documentation: Revised FEIR, pages 4.3-30 and 4.3-31, mitigation measure BIO-1.1d</p>
Page 110, existing BIO-1.1d	<p>Rename to BIO-1.2 and relocate to page 102 between existing Mitigation Measures BIO-1.1e and BIO-1.4</p> <p>Supporting Documentation: Revised FEIR List of Revisions, page 7 (revision on page 4.3-36, Mitigation Measure BIO-1.1d)</p>
Page 110, existing BIO-1.1d, item a: A map depicting the impacted habitats and the extent of the restoration.	<p>Revise as follows: A map depicting <u>the location of</u> the impacted habitats and the extent of the restoration.</p> <p>Supporting Documentation: Revised FEIR, page 4.3-36, mitigation measure BIO-1.2 (revised from BIO-1.1d per Revised FEIR List of Revisions)</p>
Page 110, existing BIO-1.1d, last paragraph: *This mitigation is not a requirement, as the EIR concludes that the value of the preservation of the majority of the Purisima Site mitigates any potential impacts from future development on the site.	<p>Revise as follows: <del>*This mitigation is not a requirement, as the EIR concludes that the value of the preservation of the majority of the Purisima Site mitigates any potential impacts from future development on the site. *The preceding mitigation measure</del></p>

	<p>would be included as a note on the Purisima mitigation site easement granted to the California Department of Fish and Game.</p> <p>Supporting Documentation: Revised FEIR, pages 4.3-34 through 4.3-37, mitigation measure BIO-1.2 (revised from BIO-1.1d per Revised FEIR List of Revisions)</p>
BIO-2.1a, page 112, Requirements & Monitoring	<p>Insert the following language between the 1<sup>st</sup> and 2<sup>nd</sup> paragraphs: <u>The City of Lompoc Community Development Department and a City-qualified restoration specialist shall review the preliminary and final Landscape and Open Space Management Plan and development plans, tentative maps, Parcel Map, Final Map, and Public Improvement Plans to ensure consistency with the indicated landscape requirements.</u></p> <p>Supporting Documentation, Revised FEIR, pages 4.3-41 and 4.3-42, mitigation measure BIO-1.5</p>
BIO-2.1b, page 113, Requirements & Monitoring	<p>Insert the following language between the 1<sup>st</sup> and 2<sup>nd</sup> paragraphs: <u>The City of Lompoc Community Development Department and a City-qualified restoration specialist shall review the preliminary and final Landscape and Open Space Management Plan, Off-Site Burton Mesa Habitat Restoration Plan, grading plans, development plans, tentative maps, Parcel Map, Final Map, and Public Improvement Plans to ensure consistency with the indicated landscape requirements.</u></p> <p>Supporting Documentation: Revised FEIR, pages 4.3-44 and 4.3-45, mitigation measure BIO-2.1b</p>
BIO-2.2a, page 113, Requirements & Monitoring	<p>Insert the following language between the 2<sup>nd</sup> and 3<sup>rd</sup> paragraphs: <u>The City of Lompoc Community Development Department shall review the Pre-construction Wildlife Survey and Monitoring Plan, preliminary and final grading plans, tentative maps, Parcel Map, Final Map, and Public Improvement Plans to ensure consistency with pre-construction surveys.</u></p> <p>Supporting Documentation: Revised FEIR, pages 4.3-36 and 4.3-37, mitigation measure BIO-2.2a</p>
<p>BIO-2.2b, page 114: Initial ground disturbances (i.e., grading, clearing, grubbing and/or shrub removal) within grassland, oak woodland, coastal sage scrub and chaparral habitats shall avoid the bird breeding season between March 1 to August 15. A pre-construction survey for nesting birds shall be completed prior to initial ground disturbing activities occurring between March 1 and August 15 to provide specific information on any nesting activities and to refine the construction avoidance areas to exclude areas that are not adequate to support nesting. A Pre-construction Bird Breeding Survey and Monitoring Plan, locating all on-site potential grassland, oak woodland, coastal sage scrub and chaparral habitats and bird nests onsite, with a scope of work and budget, shall be prepared by the developer.</p>	<p>Revise to read: Initial ground disturbances (i.e., grading, clearing, grubbing and/or shrub removal) within grassland, oak woodland, coastal sage scrub and chaparral habitats shall avoid the bird breeding season between March 1 to August 15 <u>to the maximum extent feasible</u>. <del>A pre-construction survey for nesting birds shall be completed prior to initial ground disturbing activities occurring between March 1 and August 15 to provide specific information on any nesting activities and to refine the construction avoidance areas to exclude areas that are not adequate to support nesting.</del> <u>Where the applicant can document that this is infeasible due to economic factors, all ground disturbances occurring between March 1 to August 15 shall be preceded by a pre-construction survey for nesting birds to provide specific information on any nesting activities. A no-construction buffer area shall be established extending 300-feet from all nesting areas.</u> A Pre-construction Bird Breeding Survey and Monitoring Plan, locating all on-site potential grassland, oak woodland, coastal sage scrub and chaparral habitats and bird nests onsite, with a scope of work and budget, shall be prepared by the developer <u>for all ground disturbances occurring between March 1 to August 15.</u></p> <p>Supporting Documentation: Revised FEIR, pages 4.3-48 and 4.3-49, mitigation measure BIO-2.2b</p>
<p>BIO-2.2b, page 114, Requirements &amp; Monitoring A City-qualified biologist shall prepare a preliminary and final Pre-construction Bird Breeding Survey and Monitoring Plan. All potential breeding habitats and bird nests shall be noted on the preliminary and final Pre-construction Bird Breeding Survey and Monitoring Plan and grading plans.</p>	<p>Revise to read: <u>The applicant shall provide economic justification for all disturbances between March 1 to August 15.</u> A City-qualified biologist shall prepare a preliminary and final Pre-construction Bird Breeding Survey and Monitoring Plan. All potential breeding habitats and bird nests <u>and the 300-foot no construction buffer areas shall be noted on the preliminary and</u></p>

<p>The biologist shall submit a preliminary report after clearing, grubbing and/or grading have been started, detailing the results of any capture and relocation efforts to the Community Development Department.</p>	<p>final Pre-construction Bird Breeding Survey and Monitoring Plan and grading plans.</p> <p><u>The City of Lompoc Community Development Department shall review the preliminary and final Pre-construction Bird Breeding Survey and Monitoring Plan and grading plans, tentative maps, Parcel Map, Final Map, and Public Improvement Plans to ensure consistency with pre-construction surveys.</u></p> <p>The biologist shall submit a preliminary report after clearing, grubbing and/or grading have been started, detailing the results of any capture and relocation efforts to the Community Development Department.</p> <p>The biologist shall submit the final Pre-construction Bird Breeding Survey and Monitoring report to the City of Lompoc at the completion of grading.</p> <p>The Community Development Department shall inspect the development in the field to ensure compliance with the approved plan and shall review and approve the final monitoring report prior to issuance of building permits.</p> <p>Supporting Documentation: Revised FEIR, pages 4.3-48 and 4.3-49, mitigation measure BIO-2.2b</p>
<p>BIO-3.1, page 114, Requirements &amp; Monitoring Individual oak trees to be protected or replaced, driplines, and the limit of protective fencing shall be shown on the preliminary and final Oak Tree Protection and Replacement Plan and preliminary and final grading and development plans.</p> <p>Protected and replacement oaks shall be indicated on the preliminary and final Oak Tree Protection and Replacement Plan grading plans and development plans.</p> <p>The Community Development Department and the Urban Forester shall conduct site inspections after oak tree replacement installation to ensure compliance with the approved Oak Tree Protection and Replacement Plan prior to issuance of occupancy permits and to evaluate the success of tree protection and replacement measures.</p>	<p>Individual oak trees to be protected or replaced, driplines, and the limit of protective fencing shall be shown on the preliminary and final Oak Tree Protection and Replacement Plan and preliminary and final grading and development plans.</p> <p><u>Replacement trees shall be installed and maintained in accordance with the approved plan.</u></p> <p>Protected and replacement oaks shall be indicated on the preliminary and final Oak Tree Protection and Replacement Plan grading plans and development plans.</p> <p><u>The City of Lompoc Community Development Department shall review the preliminary and final Oak Tree Protection and Replacement Plan, preliminary and final grading plans and development plans, tentative maps, Parcel Map, Final Map, and Public Improvements Plans to ensure consistency with the indicated protected and replacement oaks.</u></p> <p>The Community Development Department and the Urban Forester shall conduct site inspections after oak tree replacement installation to ensure compliance with the approved Oak Tree Protection and Replacement Plan prior to issuance of occupancy permits and to evaluate the success of tree protection and replacement measures.</p> <p>Supporting Documentation: Revised FEIR, pages 4.3-50 through 4.3-52, mitigation measure BIO-3.1</p>
<p>BIO-3.2a through BIO-3.2f, pages 115 and 116, Requirements &amp; Monitoring: These mitigation measures are recommended for preservation of Purisima mitigation site habitats outside of the residential development envelope. However, it should be noted that these measures are subject to review by the agency accepting management responsibility for the open space easement. The mitigation measures may be modified to accommodate the requirements of the agency assuming management responsibility for the Purisima mitigation site.</p>	<p>Revise to read: <u>These mitigation measures would reduce impacts to native habitats resulting from future residential development of the Purisima site. These mitigation measures would be required on the Purisima mitigation site open space easement.</u></p> <p><u>Although these mitigation measures are recommended for preservation of Purisima mitigation site habitats outside of the residential development envelope. However, it should be noted that these measures are subject to review by the agency accepting management responsibility for the open space easement. The mitigation measures may be modified and/or refined to accommodate the requirements of the agency assuming management responsibility for the Purisima mitigation site.</u></p> <p>The Plan Requirements, Timing, and MONITORING</p>

	<p>components of these notes to the Purisima mitigation site Open Space Easement would be incorporated from Mitigation Measure BIO-1.1c.</p> <p>Supporting Documentation: Revised FEIR, pages 4.3-53 starting with discussion under <i>Mitigation Measures</i> through 4.3-56 ending with discussion under <i>Residual Impacts</i></p>
BIO-5, page 117, Requirements & Monitoring	<p>Insert the following language between the 1<sup>st</sup> and 2<sup>nd</sup> paragraphs: <u>The City of Lompoc Community Development Department and Public Works Department, Engineering Division shall review the preliminary and final Master Drainage and Erosion Control Plan, preliminary and final Wetland Mitigation and Restoration Plan and/or revised Landscape and Open Space Plan, preliminary and final grading plans, tentative maps, Parcel Map, Final Map, and Public Improvement Plans to ensure consistency with the approved plan and specifications.</u></p> <p>Supporting Documentation: Revised FEIR, pages 4.3-58 through 4.3-59, mitigation measure BIO-5</p>
CR-2, page 119, 2 <sup>nd</sup> paragraph, 2 <sup>nd</sup> sentence: The workshop shall make attendees aware of prohibited activities, including unauthorized collecting of artifacts, which can result in impacts on cultural resources.	<p>Revise to read: The workshop <u>meeting</u> shall make attendees aware of prohibited activities, including unauthorized collecting of artifacts, which can result in impacts on cultural resources.</p> <p>Supporting Documentation: Revised FEIR, page 4.4-7, mitigation measure CR-2</p>
CR-2, page 119, Timing, 2 <sup>nd</sup> paragraph: The presentation shall be conducted prior to commencement of on-site clearing, grubbing, grading and/or construction activities.	<p>Revise to read: <del>The presentation shall be conducted prior to commencement of on-site clearing, grubbing, grading and/or construction activities. These measures shall be implemented prior to issuance of grading and building permits for each development phase.</del></p> <p>Supporting Documentation: Revised FEIR, pages 4.4-7 through 4.4-8, mitigation measure CR-2</p>
GEO-1a.1, page 120, item a, 1 <sup>st</sup> sentence: a. Intercept drains shall be installed north of the most northerly residential units in Land Use Area 4 and 5 to prevent upslope surface water from seeping . . .	<p>Revise to read: a. Intercept drains shall be installed north of the most northerly residential units in Land Use Area 4 <u>3</u> and 5 to prevent upslope surface water from seeping . . .</p> <p>Supporting Documentation: Revised FEIR List of Revisions, page 7 (revision on page 4.5-5, Mitigation Measure GEO-1a.1)</p>
GEO-1b.1, page 121, 1 <sup>st</sup> paragraph, 2 <sup>nd</sup> sentence: A complete list of recommendations is provided in Appendix F of the EIR, however, the following recommendations are directly associated with unstable slopes and include:	<p>Revise to read: A complete list of recommendations is provided in Appendix F of the EIR, however, the following <u>preliminary</u> recommendations are directly associated with unstable slopes and include:</p> <p>The insertion of the word <i>preliminary</i> was previously at the request of the applicants as noted in the Revised FEIR, GEO-1b.1 on page 4.5-8, but did not get inserted into the mitigation measure in the Specific Plan.</p>
GEO-1b.1, page 121, Timing	<p>Insert the following language between the 1<sup>st</sup> and 2<sup>nd</sup> paragraphs: <u>The final soils report shall be reviewed and approved upon completion of grading; the final as-built geologic report shall be reviewed and approved prior to issuance of building permits.</u></p> <p>Supporting Documentation: Revised FEIR, pages 4.5-8 and 4.5-9, mitigation measure GEO-1b.1</p>
GEO-1b.2, page 121, Timing	<p>Insert the following language between the 1<sup>st</sup> and 2<sup>nd</sup> paragraphs: <u>The final site-specific geotechnical investigation shall be approved by the Public Works Department prior to issuance of building permits.</u></p> <p>Supporting Documentation: Revised FEIR, pages 4.5-9 and 4.5-10, mitigation measure GEO-1b.2</p>
GEO-2.1, page 122, 2 <sup>nd</sup> sentence: A complete list of recommendations is provided in EIR appendices E-1 and F; however, the following recommendations . . .	<p>Change E-1 to E-2: A complete list of recommendations is provided in EIR appendices <del>E-1</del> <u>E-2</u> and F; however, the following recommendations . . .</p> <p>Supporting Documentation: Revised FEIR List of Revisions, page 7 (revision on page 4.5-11, Mitigation Measure GEO-2.1)</p>



HAZ-4.1, page 123, Timing	<p>Insert the following language between the 1<sup>st</sup> and 2<sup>nd</sup> paragraphs: <u>If necessary, soil remediation and clean up per the requirements of DTSC must be completed prior to issuance of grading permits for this portion of the project site.</u></p> <p>Supporting Documentation: Revised FEIR, pages 4.6-7 and 4.6-8, mitigation measure HAZ-4.1</p>
HAZ-4.3, page 124, 1 <sup>st</sup> sentence: The contractor shall prepare a Hazardous Materials Construction Contingency Plan for Plan Unit 1 and Plan Unit 4 identifying the response requirements . . .	<p>Revise to read: <del>The contractor</del> <u>Upon development of Plan Unit 1 and Plan Unit 4, the responsible contractor for each area shall prepare a Hazardous Materials Construction Contingency Plan for Plan Unit 1 and Plan Unit 4 identifying the response requirements . . .</u></p> <p>The language was added at the request of the applicants as noted in the Revised FEIR, HAZ-4.3 on page 4.6-9, but did not get inserted into the mitigation measure in the Specific Plan.</p>
HAZ-4.3, page 124, Requirements & Monitoring, 1 <sup>st</sup> paragraph: The applicant shall submit the Plan, prepared by a City-qualified, registered environmental assessor.	<p>Revise to read: The applicant shall submit the Plan <u>for Plan Unit 1 and Plan Unit 4</u>, prepared by a City-qualified, registered environmental assessor.</p> <p>The language was added at the request of the applicants as noted in the Revised FEIR, HAZ-4.3 on pages 4.6-9 and 4.6-10, but did not get inserted into the mitigation measure in the Specific Plan.</p>
HYDROWQ-1, page 125, 5 <sup>th</sup> sentence:	<p>Revise 5<sup>th</sup> sentence to read: An encroachment permit shall be obtained from Caltrans prior to construction of the culvert <u>under State Highway 1</u>.</p> <p>Reason for revision: Applicants' request for clarification.</p>
HYDROWQ-1, page 125, Timing	<p>Add the following after <i>Standard Timing Requirements</i>: <u>An encroachment permit shall be obtained from Caltrans for construction of the culvert under State Highway 1 prior to issuance of grading permits for any phase of development.</u></p> <p>Supporting Documentation: Revised FEIR, pages 4.4-7 and 4.4-8, mitigation measure HYDROWQ-1 and applicants' request for clarification.</p>
NOISE-2b, page 133: Proposed structures within 300 feet of State Highway 1 and 185 feet of Harris Grade Road shall incorporate noise attenuating building materials such as solid core doors, and double-paned glass windows, with other suitable noise-attenuating features to ensure that interior noise levels, including second stories, do not exceed 45 dBA CNEL, consistent with the California Noise Insulation Standards (Title 24) and City of Lompoc standards.	<p>Revise to read: <del>Proposed structures</del> <u>A City-qualified noise consultant shall submit noise attenuation evaluations for residential unit building plans</u> within 300 feet of State Highway 1 and 185 feet of Harris Grade Road <del>shall incorporate to determine the precise nature of any noise attenuating building materials such as solid core doors, and double-paned glass windows, with or other suitable noise-attenuating features</del> <u>required</u> to ensure that interior noise levels, including second stories, do not exceed 45 dBA CNEL, consistent with the California Noise Insulation Standards (Title 24) and City of Lompoc standards.</p> <p>Supporting Documentation: Revised FEIR, page 4.9-16, mitigation measure NOISE-2b</p>
PS-2.1.2, page 134, Requirements & Monitoring, 2 <sup>nd</sup> paragraph: The City of Lompoc Community Development Department and/or Fire Department/Building and Fire Safety Division shall ensure the payment of required fees prior to certificate of occupancy.	<p>Revise to read: The City of Lompoc Community Development Department and/or Fire Department/Building and Fire Safety Division shall ensure the payment of required fees <del>prior to certificate of occupancy</del> <u>upon the issuance of any development permit or prior to final building inspection.</u></p> <p>Supporting Documentation: Revised FEIR, pages 4.10-6 and 4.10-7, mitigation measure PS-2.1.2</p>
PS-2.2.2b, page 135:	<p>Revise as follows: The applicant shall prepare a fire vegetation maintenance plan <del>that includes incorporating</del> either Option 1 (including a, b, and c), 2, or 3 <del>the following</del>:</p> <p>1a. A mosaic fuel break with a minimum 100-foot width from all residential and educational structures in lieu of a traditional fire break that shall be implemented as an interface between residential development and open space along Land Use Area 7 and the northern project boundary in Land Use Areas 4 3 and 5.</p> <p>1b. Within the mosaic fuel break, all flammable vegetation shall</p>



	<p>be removed within a minimum of 30-feet of structures.</p> <p>1c. Adjacent islands of native vegetation within 30 to 100 feet of structures shall be retained, surrounded by intervening low-flammable, drought-tolerant vegetation. The intervening planted areas shall be periodically irrigated, mowed, or cleared.</p> <p>2. Establish a 300-foot buffer area between project development and the BMER to ensure additional protection of the habitat and reduce the impact on Burton Mesa chaparral (see Figure 4.3-2). Alternatively, to minimize the loss of Burton Mesa chaparral, the 300-foot buffer could be averaged across the northern boundary of the property (this would include the 100-foot minimum buffer at the northeast corner of the site, greater than 100-foot buffer at the northern boundary, and all of Land Use Area 7, as depicted in Figure 4.3-2).</p> <p>3. Construct an internal non-collector roadway parallel to and directly south of the solid wall (see Figure 4.3-3). The paved roadway would act as a firebreak that would minimize the amount of area requiring vegetation clearance and maintenance south of the wall.</p> <p>Supporting Documentation: Revised FEIR List of Revisions, pages 10 and 11 (revision on page 4.10-10, Mitigation Measure PS-2.2.2b)</p>
PS-3, page 135, Timing: The development fee shall be upon the issuance of any development permit or prior to final building inspection.	Revise to read: The development fee shall be <u>paid</u> upon the issuance of any development permit or prior to final building inspection.
TRANS-1.1b, page 138, Requirements & Monitoring, 2 <sup>nd</sup> paragraph: The requirement to prepare the plan shall be noted on the preliminary and final grading plans.	<p>Revise to read: The requirement to prepare the plan shall be noted on the preliminary and final grading <u>and construction</u> plans.</p> <p>Supporting Documentation: Revised FEIR, pages 4.12-20 and 4.12-21, TRANS-1.1b</p>
TRANS-1.1c, page 139, 1 <sup>st</sup> sentence: The applicant shall obtain an Encroachment Permit from Caltrans prior to any and all construction within the State Highway 1 and Harris Grade Road right-of-ways.	<p>Revise to read: The applicant shall obtain an Encroachment Permit from Caltrans prior to any and all construction within the State Highway 1 and <del>Harris Grade Road</del> right-of-ways.</p> <p>Supporting Documentation: Revised FEIR, pages 4.12-21 and 4.12-22, TRANS-1.1c. The last sentence of the mitigation measure addresses Harris Grade Road. Requirement of an encroachment permit from the County of Santa Barbara for improvements on Harris Grade Road is also addressed in mitigation measures TRANS-1.1a and TRANS-1.2c.</p>
TRANS-1.2a, page 139, Requirements & Monitoring, 3 <sup>rd</sup> paragraph: All dedications and improvements along Harris Grade Road shall be reviewed and approved by Santa Barbara County Public Works Department, Transportation Division staff prior to issuance of grading and building permits.	<p>Delete 3<sup>rd</sup> paragraph: <del>All dedications and improvements along Harris Grade Road shall be reviewed and approved by Santa Barbara County Public Works Department, Transportation Division.</del></p> <p>Supporting Documentation: Revised FEIR, pages 4.12-29 and 4.12-32, TRANS-1.2a. The mitigation measure addresses State Highway 1 only and not Harris Grade Road.</p>
TRANS-1.2b; page 139, Requirements & Monitoring	<p>Insert the following language between the 2<sup>nd</sup> and 3<sup>rd</sup> paragraphs: <u>All dedications and improvements along Harris Grade Road shall be reviewed and approved by Santa Barbara County Public Works Department, Transportation Division staff prior to issuance of grading and building permits.</u></p> <p>Supporting Documentation: Revised FEIR, pages 4.12-32 and 4.12-33, mitigation measure TRNAS-1.2b</p>
TRANS-1.2c, page 140, Requirements & Monitoring	<p>Insert the following language between the 2<sup>nd</sup> and 3<sup>rd</sup> paragraphs: <u>Proof of receipt of a Caltrans Encroachment Permit shall be submitted with the Final Public Improvement Plans for review and approval by the City of Lompoc.</u></p> <p>Supporting Documentation: Revised FEIR, pages 4.12-33 and 4.12-34, mitigation measure TRANS-1.2c</p>
TRANS-3.1, page 143, Requirements & Monitoring, 1 <sup>st</sup> paragraph: Revised project site internal street design specifications, including roundabouts and sidewalk widths, shall be included in the Burton Ranch Specific Plan.	Revise to read: Revised project site internal street design specifications, including roundabouts and sidewalk widths <u>and the roundabout public education program</u> , shall be included in the Burton Ranch's <u>Specific Plan Circulation and Infrastructure</u>

	<p><u>Plan.</u></p> <p>Supporting Documentation: Revised FEIR, pages 4.12-45 and 4.12-46, mitigation measure TRANS-3.1 and Revised FEIR List of Revisions, page 11</p>
<p>TRANS-3.2d, page 144: In the event that an agreement is reached between the applicant and the Lompoc Unified School District to transfer property in Land Use Area 5 for the construction of a school, the Street C or D/Harris Grade Road intersection access shall be signalized. The applicant shall be responsible for funding the intersection improvement.</p>	<p>Revise to read: In the event that an agreement is reached between the applicant and the Lompoc Unified School District to transfer property in Land Use Area 5 for the construction of a school, the Street C or D/Harris Grade Road intersection access shall be signalized. <del>The applicant shall be responsible for funding the intersection improvement.</del> <u>In the event that an agreement is reached between the applicant and the LUSD but the school is not built by residential project buildout, the applicant shall provide funds sufficient to complete these improvements.</u></p> <p>Supporting Documentation: Revised FEIR, pages 4.12-50 and 4.12-51, mitigation measure TRANS-3.2d</p>
<p>TRANS-3.3, page 144, items c and d: The applicant shall provide for the following pedestrian and bicycle traffic improvements consistent with City of Lompoc Public Works Department standards: Harris Grade Road</p> <p>a. A sidewalk or paved trail along the entire west side of Harris Grade Road project site frontage to the Street D intersection.</p> <p>b. Improvements at the Harris Grade Road/State Highway 1 intersection to provide for safe pedestrian crossing from the southeast intersection corner to the northwest intersection corner.</p> <p>c. A Class II bike lane along the western side of Harris Grade Road pursuant to the General Plan Circulation Element. S.H. 1 and S.H. 1/Purisima Road Intersection</p> <p>d. Extend the existing bike lane on northbound S.H. 1 through the S.H. 1/Purisima Road Intersection, connecting with a new pedestrian/bicycle crosswalk north across Purisima Road, and connecting to a new pedestrian/ bicycle crosswalk spanning Harris Grade Road. All work completed in the State Highway 1 right-of-way shall be done to Caltrans engineering and environmental standards, and at no cost to the State.</p>	<p>Revise to read: The applicant shall provide for the following pedestrian and bicycle traffic improvements consistent with City of Lompoc Public Works Department standards:</p> <p>Harris Grade Road</p> <p>a. A sidewalk or paved trail along the entire west side of Harris Grade Road project site frontage to the Street D intersection.</p> <p>b. Improvements at the Harris Grade Road/State Highway 1 intersection to provide for safe pedestrian crossing from the southeast intersection corner to the northwest intersection corner.</p> <p>a. A Class II bike lane along the western side of Harris Grade Road pursuant to the General Plan Circulation Element.</p> <p>S.H. 1 and S.H. 1/Purisima Road Intersection:</p> <p>d. Extend the existing bike lane on northbound S.H. 1 through the S.H. 1/Purisima Road Intersection, connecting with a new pedestrian/bicycle crosswalk north across Purisima Road, and connecting to a new pedestrian/ bicycle crosswalk spanning Harris Grade Road. All work completed in the State Highway 1 right-of-way shall be done to Caltrans engineering and environmental standards, and at no cost to the State.</p> <p>Supporting Documentation: Revised FEIR, pages 4.12-51 and 4.12-52, mitigation measure TRANS-3.3</p>
<p>UTIL-4.1a, page 145, Requirements &amp; Monitoring</p>	<p>Add the following language after the 2<sup>nd</sup> paragraph: <u>The City of Lompoc Community Development Department, Public Works Department, and City Solid Waste Superintendent shall review the Construction and Demolition Waste Management Plan, preliminary and final grading plans, final construction plans, tentative maps, Parcel Map and/or Final Map, and Public Improvement Plans to ensure the recycling specifications are noted on approved plans.</u></p> <p>Supporting Documentation: Revised FEIR, pages 4.13-12 and 4.13-13, mitigation measure UTIL-4.1a</p>
	<p>Revise all Specific Plan references of Final EIR or FEIR to Revised Final EIR or Revised FEIR.</p> <p>Supporting Documentation: Revised FEIR, Cover pages. This distinction is required because the Final EIR dated May 2004 was circulated to the public. The Revised Final EIR replaces the Final EIR in its entirety.</p>

# EXHIBIT C

**CONDITIONS OF APPROVAL  
SP 04-01 – BURTON RANCH SPECIFIC PLAN  
LOCATED IMMEDIATELY NORTH OF THE INTERSECTION OF STATE  
HIGHWAY 1 (H STREET), HARRIS GRADE ROAD, AND PURISIMA  
ROAD – ASSESSOR'S PARCEL NUMBERS 97-250-02, 97-250-05, 97-  
250-06, 97-250-13, 97-250-39, 97-250-40, 97-250-50, 97-250-51, 97-250-  
62, 97-250-69, AND 97-250-70**

The following Conditions of Approval apply to the Burton Ranch Specific Plan for SP 04-01, dated October 2005, and reviewed by the Planning Commission on December 12, 2005 and by the City Council on February 7, 2006.

## **I. PLANNING**

### **Planning – General Conditions**

- P1. All applicable provisions of the Lompoc City Code are made a part of these conditions of approval in their entirety, as if fully contained herein.
- P2. In conformity with Sections 8900, 8935, and 8936 of the Lompoc City Zoning Ordinance, the violation of any condition listed herein shall constitute a nuisance and a violation of the Lompoc City Zoning Ordinance and the Lompoc City Code. In conformity with Section 0107 and 0128 of the Lompoc City Code, a violation of the Lompoc City Code and the Lompoc City Zoning Ordinance is a misdemeanor and shall be punishable as provided by law. In addition to criminal penalties, the City may seek injunctive relief to specifically enforce the Conditions of Approval. The applicant agrees to pay for all attorney's fees and costs, including, but not limited to, staff time incurred by the City in obtaining injunctive relief against the applicant as a result of a failure of the applicant to fully perform and adhere to all of the Conditions of Approval.
- P3. The applicant is advised that certain fees and charges will be collected by the City prior to issuance of building permits and/or prior to issuance of certificates of occupancy.
- P4. These conditions of approval shall be noted on the construction drawings filed for any building permits, including the Planning Commission resolution number and the applicant's signed affidavit agreeing to comply with the conditions.
- P5. Owner agrees to and shall indemnify, defend, protect, and hold harmless City, its officers, employees, agents and representatives, from and against any and all claims, losses, proceedings, damages, causes of action, liabilities, costs and expenses, including reasonable attorney's fees, arising from or in connection with, or caused by (i) any act, omission or

negligence of Owner, or their respective contractors, licensees, invitees, agents, sublessees, servants or employees, wherever on or adjacent to the Property the same may occur; (ii) any use of the Property, or any accident, injury, death or damage to any person or property occurring in, or on or about the Property, or any part thereof, or from the conduct of Owner's business or from any activity, work or thing done, permitted or suffered by Owner or its sublessees, contractors, employees, or invitees, in or about the Property, other than to the extent arising as a result of City's sole active negligence or to the extent of any willful misconduct of the City; and (iii) any default in the performance of any obligations of Owner's part to be performed under the terms of this Agreement, or arising from any negligence of Owner, or any such claim or any action or proceeding brought thereon; and in case any action or proceedings be brought against the City, its officers, employees, agents and representatives, by reason of any such claim, Owner, upon notice from City, shall defend the same at its expense by counsel reasonably satisfactory to City.

Owner further agrees to and shall indemnify, defend, protect, and hold harmless the City, its officers, employees, agents and representatives, from and against any and all actions brought by any third party to challenge the Project or its approval by the City, including environmental determinations. Such indemnification shall include any costs and expenses incurred by Agency and City in such action(s), including reasonable attorney's fees.

- P6. Development Plans and Tentative Maps will be submitted to the City of Lompoc and will be processed in accordance with the City Zoning Ordinance and City Subdivision Review Ordinance.

#### **Planning – Mitigation Monitoring Conditions**

- P7. All Mitigation Measures set forth in the *Burton Ranch Specific Plan Project Revised Final Environmental Impact Report (Revised FEIR), EIR 02-01, SCH No. 2002091045*, are hereby incorporated into these Conditions of Approval, as if fully contained herein, except those found infeasible pursuant to §15091 of the State CEQA Guidelines.
- P8. The applicant shall enter into a Mitigation Monitoring Agreement with the City of Lompoc, which shall assure continuing compliance with the Mitigation Measures set forth in the *Revised FEIR*. The Agreement shall be reviewed and approved by the City Attorney, and shall be recorded prior to the issuance of any construction permit.

- P9. The applicant shall pay the costs associated with implementation of the Mitigation Monitoring and Reporting Program prior to issuance of the first Certificate of Occupancy for any building in the project. The costs associated with implementation of Mitigation Monitoring and Reporting Program shall be calculated on a time and materials basis.
- P10. Minor changes to the Mitigation Monitoring and Reporting Program may be made by the City Planner. Such changes shall not result in alteration of any mitigation measures, but shall be restricted to changes related to which phase of the Mitigation Monitoring and Reporting Program (e.g., plan check, construction, pre-occupancy, post-occupancy) a mitigation measure is to be completed. Any such changes may be approved when it is found to be impractical to require completion of a mitigation measure during the phase specified in the Mitigation Monitoring and Reporting Program.

#### Planning – Project Specific Conditions

- P11. Revisions to the Mitigation Monitoring and Reporting Program contained in Section XI of the Burton Ranch Specific Plan shall be made in accordance with the "*List of Recommended Revisions to the Burton Ranch Specific Plan*," dated February 7, 2006, Attachment No. 7, Exhibit B. Said revisions shall be made exactly as stated in the "*List of Recommended Revisions to the Burton Ranch Specific Plan*." Minor changes may be made to the Mitigation Monitoring and Reporting Program if approved by the Community Development Director.

Said revisions shall be made to the MMRP and submitted to the Planning Division for review and approval prior to issuance of any grading permit or prior to submittal of the first tentative map for any phase of development on the project site, whichever occurs first.

The revised Mitigation Monitoring and Reporting Program shall be provided to the City of Lompoc in electronic format for preparation by City to format into the final reporting program.

- P12. Revisions to the Burton Ranch Specific Plan shall be made in accordance with the "*List of Recommended Revisions to the Burton Ranch Specific Plan*," dated February 7, 2006, Attachment No. 7, Exhibit B. Said revisions shall be made exactly as stated in the "*List of Recommended Revisions to the Burton Ranch Specific Plan*." Minor changes may be made to the Burton Ranch Specific Plan if approved by the Community Development Director.

Said revisions shall be made to the Burton Ranch Specific Plan and submitted to the Planning Division for review and approval prior to issuance of any grading permit or prior to submittal of the first tentative map for any phase of development on the project site, whichever occurs first.

Thirty-five (35) original bound copies plus one (1) original unbound copy of the revised Burton Ranch Specific Plan (including the revised Mitigation Monitoring and Reporting Program, Section XI of the Specific Plan) shall be provided to the City of Lompoc, Planning Division, for distribution to City departments. The revised Burton Ranch Specific Plan shall also be provided to the City of Lompoc in electronic format for distribution on the City website.

- P13. Development plans shall be submitted with tentative maps for all phases of development of the project site.
- P14. Plans for improvement of the approximately three (3) acre park site comprising Land Use Area 6 of the Burton Ranch shall be submitted to the Parks and Recreation Department for review and comment by the Parks and Recreation Commission. This requirement shall be noted as a condition of the tentative map for the first Plan Unit to develop.

# EXHIBIT C

**CONDITIONS OF APPROVAL  
SP 04-01 – BURTON RANCH SPECIFIC PLAN  
LOCATED IMMEDIATELY NORTH OF THE INTERSECTION OF STATE  
HIGHWAY 1 (H STREET), HARRIS GRADE ROAD, AND PURISIMA  
ROAD – ASSESSOR'S PARCEL NUMBERS 97-250-02, 97-250-05, 97-  
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62, 97-250-69, AND 97-250-70**

The following Conditions of Approval apply to the Burton Ranch Specific Plan for SP 04-01, dated October 2005, and reviewed by the Planning Commission on December 12, 2005 and by the City Council on February 7, 2006.

## **I. PLANNING**

### **Planning – General Conditions**

- P1. All applicable provisions of the Lompoc City Code are made a part of these conditions of approval in their entirety, as if fully contained herein.
- P2. In conformity with Sections 8900, 8935, and 8936 of the Lompoc City Zoning Ordinance, the violation of any condition listed herein shall constitute a nuisance and a violation of the Lompoc City Zoning Ordinance and the Lompoc City Code. In conformity with Section 0107 and 0128 of the Lompoc City Code, a violation of the Lompoc City Code and the Lompoc City Zoning Ordinance is a misdemeanor and shall be punishable as provided by law. In addition to criminal penalties, the City may seek injunctive relief to specifically enforce the Conditions of Approval. The applicant agrees to pay for all attorney's fees and costs, including, but not limited to, staff time incurred by the City in obtaining injunctive relief against the applicant as a result of a failure of the applicant to fully perform and adhere to all of the Conditions of Approval.
- P3. The applicant is advised that certain fees and charges will be collected by the City prior to issuance of building permits and/or prior to issuance of certificates of occupancy.
- P4. These conditions of approval shall be noted on the construction drawings filed for any building permits, including the Planning Commission resolution number and the applicant's signed affidavit agreeing to comply with the conditions.
- P5. Owner agrees to and shall indemnify, defend, protect, and hold harmless City, its officers, employees, agents and representatives, from and against any and all claims, losses, proceedings, damages, causes of action, liabilities, costs and expenses, including reasonable attorney's fees, arising from or in connection with, or caused by (i) any act, omission or



negligence of Owner, or their respective contractors, licensees, invitees, agents, sublessees, servants or employees, wherever on or adjacent to the Property the same may occur; (ii) any use of the Property, or any accident, injury, death or damage to any person or property occurring in, or on or about the Property, or any part thereof, or from the conduct of Owner's business or from any activity, work or thing done, permitted or suffered by Owner or its sublessees, contractors, employees, or invitees, in or about the Property, other than to the extent arising as a result of City's sole active negligence or to the extent of any willful misconduct of the City; and (iii) any default in the performance of any obligations of Owner's part to be performed under the terms of this Agreement, or arising from any negligence of Owner, or any such claim or any action or proceeding brought thereon; and in case any action or proceedings be brought against the City, its officers, employees, agents and representatives, by reason of any such claim, Owner, upon notice from City, shall defend the same at its expense by counsel reasonably satisfactory to City.

Owner further agrees to and shall indemnify, defend, protect, and hold harmless the City, its officers, employees, agents and representatives, from and against any and all actions brought by any third party to challenge the Project or its approval by the City, including environmental determinations. Such indemnification shall include any costs and expenses incurred by Agency and City in such action(s), including reasonable attorney's fees.

- P6. Development Plans and Tentative Maps will be submitted to the City of Lompoc and will be processed in accordance with the City Zoning Ordinance and City Subdivision Review Ordinance.

#### **Planning – Mitigation Monitoring Conditions**

- P7. All Mitigation Measures set forth in the *Burton Ranch Specific Plan Project Revised Final Environmental Impact Report (Revised FEIR), EIR 02-01, SCH No. 2002091045*, are hereby incorporated into these Conditions of Approval, as if fully contained herein, except those found infeasible pursuant to §15091 of the State CEQA Guidelines.
- P8. The applicant shall enter into a Mitigation Monitoring Agreement with the City of Lompoc, which shall assure continuing compliance with the Mitigation Measures set forth in the *Revised FEIR*. The Agreement shall be reviewed and approved by the City Attorney, and shall be recorded prior to the issuance of any construction permit.

- P9. The applicant shall pay the costs associated with implementation of the Mitigation Monitoring and Reporting Program prior to issuance of the first Certificate of Occupancy for any building in the project. The costs associated with implementation of Mitigation Monitoring and Reporting Program shall be calculated on a time and materials basis.
- P10. Minor changes to the Mitigation Monitoring and Reporting Program may be made by the City Planner. Such changes shall not result in alteration of any mitigation measures, but shall be restricted to changes related to which phase of the Mitigation Monitoring and Reporting Program (e.g., plan check, construction, pre-occupancy, post-occupancy) a mitigation measure is to be completed. Any such changes may be approved when it is found to be impractical to require completion of a mitigation measure during the phase specified in the Mitigation Monitoring and Reporting Program.

### **Planning – Project Specific Conditions**

- P11. Revisions to the Mitigation Monitoring and Reporting Program contained in Section XI of the Burton Ranch Specific Plan shall be made in accordance with the "*List of Recommended Revisions to the Burton Ranch Specific Plan*," dated February 7, 2006, Attachment No. 7, Exhibit B. Said revisions shall be made exactly as stated in the "*List of Recommended Revisions to the Burton Ranch Specific Plan*." Minor changes may be made to the Mitigation Monitoring and Reporting Program if approved by the Community Development Director.

Said revisions shall be made to the MMRP and submitted to the Planning Division for review and approval prior to issuance of any grading permit or prior to submittal of the first tentative map for any phase of development on the project site, whichever occurs first.

The revised Mitigation Monitoring and Reporting Program shall be provided to the City of Lompoc in electronic format for preparation by City to format into the final reporting program.

- P12. Revisions to the Burton Ranch Specific Plan shall be made in accordance with the "*List of Recommended Revisions to the Burton Ranch Specific Plan*," dated February 7, 2006, Attachment No. 7, Exhibit B. Said revisions shall be made exactly as stated in the "*List of Recommended Revisions to the Burton Ranch Specific Plan*." Minor changes may be made to the Burton Ranch Specific Plan if approved by the Community Development Director.

Said revisions shall be made to the Burton Ranch Specific Plan and submitted to the Planning Division for review and approval prior to issuance of any grading permit or prior to submittal of the first tentative map for any phase of development on the project site, whichever occurs first.

Thirty-five (35) original bound copies plus one (1) original unbound copy of the revised Burton Ranch Specific Plan (including the revised Mitigation Monitoring and Reporting Program, Section XI of the Specific Plan) shall be provided to the City of Lompoc, Planning Division, for distribution to City departments. The revised Burton Ranch Specific Plan shall also be provided to the City of Lompoc in electronic format for distribution on the City website.

- P13. Development plans shall be submitted with tentative maps for all phases of development of the project site.
- P14. Plans for improvement of the approximately three (3) acre park site comprising Land Use Area 6 of the Burton Ranch shall be submitted to the Parks and Recreation Department for review and comment by the Parks and Recreation Commission. This requirement shall be noted as a condition of the tentative map for the first Plan Unit to develop.

I, Jon Martin representing Martin Farrell Homes, as project applicant do hereby declare under penalty of perjury that I accept all conditions imposed by the City Council in its approval of the proposed Burton Ranch Specific Plan project. As project applicant, I agree to comply with these conditions and all other applicable laws and regulations at all times.

\_\_\_\_\_  
Jon Martin  
Martin Farrell Homes

\_\_\_\_\_  
Date

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**CERTIFIED COPY**

**ORDINANCE NO. 1519 (06)**

**An Ordinance Of The City Lompoc,  
County Of Santa Barbara, State Of California  
Adopting Specified Sections Of The Burton Ranch Specific Plan Project  
(Assessor's Parcel Numbers 97-250-002, 97-250-005, 97-250-006, 97-250-013, 97-250-039, 97-250-040, 97-250-050, 97-250-051, 97-250-062, 97-250-069, and 97-250-070) (Planning Division File No. SP 04-01)**

**THE CITY COUNCIL OF THE CITY OF LOMPOC HEREBY ORDAINS AS FOLLOWS:**

**SECTION 1.** Section V of the Burton Ranch Specific Plan, entitled "Zoning" and incorporated by this reference, is hereby enacted to regulate land use within the boundaries of the Specific Plan area.

**SECTION 2.** Section VI of the Burton Ranch Specific Plan, entitled "Signs" and incorporated by this reference, is hereby enacted to regulate signs within the boundaries of the Specific Plan area.

**SECTION 3.** Section VII of the Burton Ranch Specific Plan, entitled "The Infrastructure Plan" and incorporated by this reference, is hereby enacted to regulate circulation and infrastructure standards within the boundaries of the Specific Plan area.

**SECTION 4.** Section VIII of the Burton Ranch Specific Plan, entitled "Architectural & Site Design Standards" and incorporated by this reference, is hereby enacted to regulate community design within the boundaries of the Specific Plan area.

**SECTION 5.** Section IX of the Burton Ranch Specific Plan, entitled "Implementation" and incorporated by this reference, is hereby enacted to apply within the boundaries of the Specific Plan area.

**SECTION 6.** Except as provided in the Development and Annexation Agreement, insofar as the Sections V, VI, VII, VIII, and IX differ with Chapter 50 of the Lompoc City Code (or successor ordinances relating to zoning), the Specific Plan sections shall control within the boundaries of the Specific Plan area. Insofar as these sections do not address a matter which is addressed or may hereafter be addressed by zoning ordinances of the City of Lompoc, the zoning ordinances shall apply within the boundaries of the Specific Plan area.

**SECTION 7.** (a) Any person, whether as a principal, agent, employee or otherwise, violating or causing the violation of any of the provisions of this ordinance is guilty of a misdemeanor punishable as provided in Chapter 1 of the Lompoc City Code.

(b) Every person who lets or permits to be used any land, premises, buildings or structures, or any portion thereof, knowing that it is to be used for setting up, maintaining or carrying on a land use contrary to the provisions of this ordinance, is guilty of a misdemeanor.

(c) The provisions of this ordinance shall not be construed as a limitation upon, or a waiver of, any other means of enforcement of this ordinance, and the City Attorney is authorized to initiate and maintain criminal and civil proceedings to enforce all the provisions of this ordinance.

**SECTION 8.** The City Clerk shall certify to the adoption of this Ordinance and cause publication once in a newspaper of general circulation.

**SECTION 9.** This Ordinance is effective on the thirty-first day following its adoption.

PASSED AND ADOPTED by the City Council at its duly convened regular meeting on March 7, 2006, by the following electronic vote:

**AYES:** Councilmember(s): DeWayne Holmdahl, Will Schuyler, Michael Siminski, and Mayor Dick DeWees.


**NOES:** Councilmember(s): None

**ABSENT:** Councilmember(s): Janice Keller



\_\_\_\_\_  
Dick DeWees, Mayor  
City of Lompoc

ATTEST:

  
\_\_\_\_\_  
Donna Terrones, City Clerk  
City of Lompoc

I HEREBY CERTIFY THAT THE

**foregoing instrument is a true and correct copy of the original on file in the Lompoc City Clerk's Department.**

ATTEST:  \_\_\_\_\_

## CERTIFIED COPY

### ORDINANCE NO. 1547 (07)

**AN ORDINANCE OF THE CITY OF LOMPOC  
Amending The Burton Ranch Specific Plan To  
Allow For Asphalt Composition Shingle Roofing  
On Craftsman Style Units Within The Specific Plan Area  
(Planning Division File No. SP04-01)**

THE CITY COUNCIL OF THE CITY OF LOMPOC DOES HEREBY ORDAIN AS FOLLOWS:

**SECTION 1.** The City Council hereby finds and determines that:

- A. On July 9, 2007 the Planning Commission did, by Resolution No. 564 (07), following a public hearing in the time and manner prescribed by law, recommended that the City Council amend the Burton Ranch Specific Plan to allow for asphalt composition shingle roofing on Craftsman style units within the Specific Plan area.
- B. The City Council has held public hearings in the time and manner prescribed by law and has duly heard and considered said recommendation and directed staff to prepare an Ordinance implementing the Specific Plan amendment at this time;
- C. The City Council finds that the Specific Plan amendment is consistent with the land use designation of the General Plan Land Use Map of the City of Lompoc;
- D. The Specific Plan amendment is appropriate and is consistent with the intent of the Burton Ranch Specific Plan; and
- E. The project is exempt from CEQA pursuant to Section 15061 (3) of the State CEQA Guidelines as it can be seen with certainty that there is no possibility that the requested change to roofing material would affect the aesthetics of the project or any other environmental issue.

**SECTION 2.** Architectural Design Development Standard ARCH-4 of the Burton Ranch Specific Plan is amended as follows:

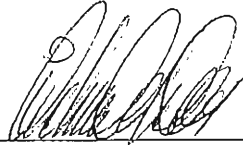
*ARCH-4 Roofing materials shall consist of rich tones, not light colors that will be visually prominent from a distance. All roofs shall be tile roofs (concrete or clay is acceptable). Roofs shall be constructed of non-reflective material. Architectural grade asphalt composite shingles may be used on the Craftsman style units subject to the City Planner's review and approval of a color and material product board identifying the color and quality of the materials.*



**SECTION 3.** This Ordinance is effective on and after the thirty first day following its adoption.

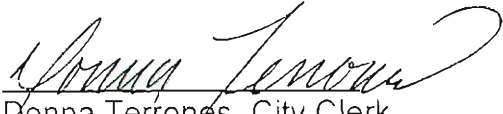
PASSED AND ADOPTED on September 4, 2007 by the following electronic vote:

- AYES: Councilmember(s): DeWayne Holmdahl, Ann Ruhge, Will Schuyler, Mike Siminski, and Mayor Dick DeWees.
- NOES: Councilmember(s) None
- ABSENT: Councilmember(s) None



\_\_\_\_\_  
Dick DeWees, Mayor  
City of Lompoc

ATTEST:



\_\_\_\_\_  
Donna Terrones, City Clerk  
City of Lompoc

I HEREBY CERTIFY THAT THE

foregoing instrument is a true and correct copy of the original on file in the Lompoc City Clerk's Department.

ATTEST: \_\_\_\_\_

**CERTIFIED COPY**

**Ordinance No. 1607(14)**

**An Ordinance of the City Council of the City of Lompoc,  
County of Santa Barbara, State of California,  
Adopting Amendment No. 2 to the Burton Ranch Specific Plan  
Regarding Alternative Mitigation Measure TRANS 1.2c  
(Planning Division File No. FEIR 02-01 /SP 04-01)**

**THE CITY COUNCIL OF THE CITY OF LOMPOC DOES HEREBY ORDAIN AS FOLLOWS:**

**SECTION 1.** The City Council hereby finds and determines that:

- A. On June 11, 2014, the Planning Commission did, by Resolution No. 771(14), following a public hearing in the time and manner prescribed by law, recommend that the City Council amend the Burton Ranch Specific Plan (BRSP) to include an alternative to Mitigation Measure TRANS 1.2c.
- B. The alternative proposed for Mitigation Measure TRANS 1.2c adopted with the Final Environmental Impact Report (FEIR 02-01) for the BRSP is based upon new information provided in the Penfield & Smith Traffic Analysis dated April 24, 2014, and is consistent with the objectives, policies, land uses, and programs specified in the City's General Plan and the BRSP.
- C. The alternative to Mitigation Measure TRANS 1.2c will not be detrimental to the health, safety and general welfare of persons residing in the BRSP area or in the City of Lompoc.
- D. The proposed FEIR 02-01 Addendum includes changes to transportation mitigations and conditions that the City has determined not to be substantial individually or cumulatively, and therefore do not require circulation for public comment. However, the applicant is hereby notified that the City considers this change just short of the threshold of significance and additional changes to transportation mitigations or conditions beyond those described in the Addendum will likely be considered cumulatively significant, even if not individually substantial, and would likely require preparation of a Supplemental or Subsequent Environmental Impact Report (EIR) to be circulated for public comment.
- E. Amendment No. 2 to the BRSP includes changes pertaining to TRANS 1.2c within Section VII, the Infrastructure Plan, Table 2 – Infrastructure Timing Schedule, and Section XI, Mitigation Measures.
- F. The draft Addendum to the BRSP FEIR 02-01 prepared by Rincon Consultants, dated April 2014, accurately documents the actions taken and is consistent with the regulations of CEQA.

- G. This project is in accordance with Section 15164 of the CEQA Guidelines, where a lead agency shall prepare an addendum to a previously certified EIR if some changes or additions are necessary, but none of the conditions described in Section 15162 of the CEQA Guidelines for the preparation of a subsequent EIR have occurred.

**SECTION 2.** The Burton Ranch Specific Plan is amended as follows:

***Section VII: The Infrastructure Plan; Table 2 – Infrastructure Timing Schedule within (page 54 of the BRSP)***

***[Proposed Revised Language]***

Restripe the northbound approach (dual left-turn lanes, one through lane and a right-turn lane).

Provide traffic signal improvements to change the existing split phasing to protected left-turn phasing on the northbound and southbound approaches and to protected-permissive left-turn phasing on the eastbound and westbound approaches.

Caltrans Encroachment Permit to be received prior to approval of Final Map and Public Improvement Plan.

County of Santa Barbara Encroachment Permit shall be applied for all work within the County right-of-way along Harris Grade Road prior to map recordation.

**Section XI: Mitigation Measures (page 142 of the BRSP)**

**[Proposed Revised Language]**

TRANS- 1.2c The applicant shall construct the following improvements at the State Route 1/Harris Grade Road intersection prior to project occupancy:

- Restripe the northbound approach (dual left-turn lanes, one through lane and a right-turn lane).
- Provide traffic signal improvements to change the existing split phasing to protected left-turn phasing on the northbound and southbound approaches and to protected-permissive left-turn phasing on the eastbound and westbound approaches in conformance with the future operation assumed in the 2030 General Plan Update EIR.
- A Caltrans Encroachment Permit shall be obtained for this work. All work completed in the State Highway 1 right-of-way shall be done to Caltrans engineering and environmental standards, and at no cost to the State. The applicant shall apply for an Encroachment Permit with the County of Santa Barbara for all work proposed within the County right-of-way along Harris Grade Road.

**SECTION 3. Effective Date.** This Ordinance shall be effective 30 days after its adoption.


This Ordinance was introduced on August 5, 2014, and duly adopted by the City Council of the City of Lompoc at its duly noticed regular meeting on August 19, 2014, by the following electronic vote:

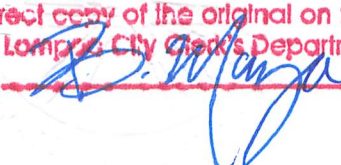
AYES: Council Member(s): Bob Lingl, Dirk Starbuck, Ashley Costa, DeWayne Holmdahl, and Mayor John Linn.

NOES: Council Member(s): None

ABSENT: Council Member(s): None

  
 \_\_\_\_\_  
 John H. Linn, Mayor  
 City of Lompoc

ATTEST:   
 \_\_\_\_\_  
 Stacey Alvarez, City Clerk  
 City of Lompoc

I HEREBY CERTIFY THAT THE  
 foregoing instrument is a true and  
 correct copy of the original on file in  
 the Lompoc City Clerk's Department.  
 ATTEST: 

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